



PLANNING AND ZONING COMMISSION AGENDA-SPECIAL MEETING

Monday, July 10, 2017

Ketchum City Hall

480 East Avenue North, Ketchum, ID 83340

1. **5:30 PM - CALL TO ORDER: City Hall, 480 East Avenue North, Ketchum, Idaho**
2. PUBLIC COMMENT - Communications from the public for items not on the agenda.
3. COMMUNICATIONS FROM STAFF
 - a. Continued from May 23, 2017 and June 12, 2017, Sun Valley Dental Arts Design Review: 100 7th Street East Ketchum, Idaho (Ketchum Townsite, Lot 5, Block 34). The Commission will consider and take action on an application by Ben Franz for Design Review approval of a new mixed use three-story building with ground floor commercial space with two residential units on the second floor and one residential unit on the third floor.
 - b. Hotel Ketchum Coffee Shop: 620 North Main Street, Ketchum, ID (Ketchum Lots 2, S 2' of 3 BLK 7 3,179SF). The Commission will consider and take action on an application by Ketchum & Mustard, LLC for Pre-Application Design Review approval of a new 1,364 square-foot coffee shop to replace the existing 1,364 square-foot Bellemont Radio Station.
4. CONSENT CALENDAR
 - a. May 23, 2017: Minutes
 - b. June 8, 2017: Minutes
 - c. June 12, 2017: Minutes
5. FUTURE PROJECTS AND NOTICING REQUIREMENTS
6. STAFF REPORTS & CITY COUNCIL MEETING UPDATE
7. COMMISSION REPORTS AND EX PARTE DISCUSSION DISCLOSURE
8. ADJOURNMENT

Any person needing special accommodations to participate in the meeting should contact the City Clerk's Office as soon as reasonably possible at 726-3841. All times indicated are estimated times, and items may be heard earlier or later than indicated on the agenda.



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF July 10, 2017

PROJECT: Sun Valley Dental Arts

FILE NUMBER: #17-010

OWNERS: Ben Franz

REPRESENTATIVE: Jeff Mathis - Architect

REQUEST: Design Review approval for a new three story mixed-use residential and commercial building.

LOCATION: (Ketchum Block 34 Lot 5)

ZONING: Community Core sub district Traditional Neighborhood (CC-D)

OVERLAY: None

NOTICE: Notice was mailed to Property owners within 300 foot radius of subject property were mailed notice on May 9th, 2017 for a public hearing on May 23, 2017 at 5:30pm. Notice was posted in three public City locations on May 9th, 2017.

REVIEWER: Carl Anderson, Associate Planner

STAFF RECOMMENDATION:

Staff recommends continuing the application to the August 14th, 2017 Planning and Zoning Commission meeting.

ATTACHMENTS:

- A. Application

BACKGROUND

The site property is located in the Community Core Traditional Neighborhood Sub-district (CC-D). The lot is currently is 5,501 square feet and is located at Ketchum Block 34 Lot 5. The applicant is proposing to construct a three-story mixed use building, which will have a total square footage of 18,672 square feet, and a Floor Area Ratio (FAR) of 2.15 (11,844 sf/5,500 sf). The mixed-use of the proposed building is proposed to contain a Business Office (dental office) on the ground floor, two (2) residential units on the second floor, and one (1) residential unit on the third floor.

The proposed building received Pre-Application Design Review approval on October 26th, 2015. The approval was for a 14,376 square foot mixed-use residential and commercial building. The approval expired one year from the approval date and no request to extend the approval was submitted to the City of Ketchum Planning and Building Department. The requirement for Pre-Application Design Review has been waived for this project.

The Design Review application for the Sun Valley Dental Arts project was continued from the May 23rd, 2017 P&Z special meeting to the June 12th, 2017 P&Z meeting. The applicant has requested that the application be continued from the June 12th regular meeting to the next Planning & Zoning Commission regular meeting on July 10th, 2017.

COMMISSION OPTIONS

1. **Continuation of the Application:** “Motion to continue the Design Review application from owner Dr. Ben Franz, located at Ketchum Block 34 Lot 5, to a date certain of August 14th, 2017.”

RECOMMENDED CONDITIONS

None at this time.



STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
SPECIAL MEETING OF July 10th, 2017

PROJECT: Hotel Ketchum Coffee Shop

FILE NUMBER: #17-070

REPRESENTATIVE: Mark de Reus; Local Contact: John Rowland

OWNER: Ketchum & Mustard, LLC; Local Contact: Shannon Allen

REQUEST: Pre-Application Design Review approval for a facility new Coffee Shop to replace the existing Belmont Radio Station.

LOCATION: 620 North Main St.
(Lot 2, S 2' of 3 Block 7)

ZONING: Community Core – Retail Core (CC-A)

OVERLAY: None

NOTICE: Notice was mailed to property owners within a 300 foot radius of subject property and posted in three public City locations on June 27th, 2017.

REVIEWER: Carl Anderson, Associate Planner

BACKGROUND

The property is located in the Community Core Retail Subdistrict (CC-A) and currently contains the Belmont Radio Station, which is under the 60 day noticing period for a historic demolition permit. The applicant is Ketchum and Mustard, LLC represented locally by Shannon Allen. The Pre-application Design Review is represented by John Rowland for Mark de Reus Architects. The applicant is proposing to demolish the existing Belmont Radio Station Building to be replaced with a coffee shop. The existing building is a 1,364 square foot-building and the proposed coffee shop will be 1,364 square feet. The proposed coffee shop is intended serve primarily as an accessory amenity to hotel guest, however, the coffee shop will be open to the public.

ANALYSIS

Staff recommends that the Pre-application for the Hotel Ketchum Coffee Shop be advanced to Design Review. A full analysis and explanation of this recommendation is detailed within the staff report. The following items will need to be addressed by the applicant prior to Design Review approval.

Outstanding action items:

1. 17.96.060. J.1Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles,

restrooms, fountains, art, etc. All public amenities shall receive approval from the public works department prior to design review approval from the commission.

2. 17.96.070. D.2 Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.
3. 17.125.060 Restaurant, bars and eating/drinking establishment = 1 space per 100 square feet of assembly area.
4. 17.96.070. F.1. One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided for every four (4) parking spaces as required by the proposed use. At a minimum, one (1) bicycle rack shall be required per development.
5. 17.127.020 An updated Master Signage Plan is required for the Bellemont Hotel prior to the issuance of a Building Permit.

The applicant is aware of the outstanding action items described above and has stated an intention of proposing and addressing solutions to some, if not all, of the items with the Commission during the Pre-Application Design Review meeting.

PRE-APPLICATION

The Commission must consider Pre-Application Design Review of the Hotel Ketchum Coffee Shop application as it relates to the criteria used for evaluating such applications and in the context of exchanging ideas and giving direction to the applicant on the “design concept.” The Commission has the option of moving the application forward to Design Review or continuing the Pre-Application Design Review discussion to a subsequent meeting. If the Planning and Zoning Commission chooses to move the application forward to Design Review, staff recommends requiring any design changes or conditions the Commission would like to see. The commission may require additional conditions based on findings received through public comment, testimony, or other discovery.

Design Review approval may be granted by the Commission only if the applicant demonstrates that:

- The project does not jeopardize the health, safety or welfare of the public.
- The project conforms to all applicable standards and criteria as set forth in this chapter, 17.96: Design Review, and any other standards as adopted or amended by the City of Ketchum from time to time.

The Commission may allow the applicant to move forward with Design Review and may attach additional conditions to approval as it determines necessary to ensure the health, safety, or welfare of the public. All conditions must cite the appropriate standard for imposing such condition. Such conditions include, but are not limited to:

- Ensuring compliance with applicable standards.
- Requiring conformity to approved plans and specifications.
- Requiring security for compliance with the terms of the approval.
- Minimizing adverse impact on other development.
- Controlling the sequence, timing and duration of development and ongoing maintenance.
- Requiring more restrictive standards than those generally found in the Ketchum Municipal Code.

COMPREHENSIVE PLAN ANALYSIS

The proposed new construction of the Hotel Ketchum Coffee Shop is consistent with the uses, goals and policies listed below as specified within the 2014 Comprehensive Plan.

SUPPORTING SECTION	SUMMARY OF COMPLIANCE OF PROPOSED AMENDMENTS WITH THE 2014 COMPREHENSIVE PLAN
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Future Land Use	
Commercial Employment	<p>Primary Uses: The Commercial/Employment category predominantly provides a variety of business, service, arts/culture, public, hotel, motel and other types of visitor lodging, residential, office, and hospitality service uses.</p> <p>Secondary Uses: Visitor and neighborhood limited retail. Examples include convenience or boutique retail. Multi-family housing are also considered secondary uses.</p> <p>Characteristics and Location: The Commercial/Employment district includes Warm Springs base and is between the downtown and River Run Plaza. The area has good access and business exposure from Main Street and other arterial and collector streets. The intent is to allow for vertical or horizontal mix of uses on sites, including some high-density residential.</p>
Community Design and Neighborhoods	
Policy CD-1.3 Compatible Infill and Redevelopment Projects	Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they will occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style.

STAFF RECOMMENDATION

Staff recommends the advancement of the application for the Hotel Ketchum Coffee Shop.

COMMISSION OPTIONS

1. **Advance the application to Design Review:** "Motion to advance the application from the applicant for the for the Pre-application Design Review of the Hotel Ketchum Coffee Shop to Design Review, finding the application meets the standards for approval under Chapter 17.96 of Ketchum Zoning Code, with the following conditions/design changes: [insert conditions of approval here]"
2. **Continuation of the Application:** "Motion to continue the application for Pre-Application Design Review for the Hotel Ketchum Coffee Shop to a date certain of [insert date of meeting] in order to address the following design changes [Commission to insert design changes]".

ATTACHMENTS:

- A. Table 1. Requirements for All Applications
- B. Table 2. Zoning Standards Analysis
- C. Table 3. Design Review Standards
- D. Table 4: Design Review Standards for Community Core Projects
- E. Application
- F. Plans, dated: 06/20/2017
- G. Material Board, dated: 06/20/2017
- H. Proposed Exterior Lighting

Attachment A.

Table 1: Requirements for All Applications

City Department Comments				
Compliant				
Yes	No	N/A	City Code	
			City Standards and <i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.040	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Police Department: No comment at this time.	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fire Department: The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances. IF a monitored fire detection system exists or is installed, it shall meet NFPA 72 and be monitored by an approved alarm monitoring station. An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department. Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade. Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times. Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building. A Type I hood shall be installed at or above all commercial cooking appliances and domestic cooking appliances used for commercial purposes that produce grease vapors.	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Streets Department: <ul style="list-style-type: none"> • Replacing the new sidewalk all the way through the curb cut and transitions is recommended. • ITD will need to approve the project. 	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Utilities: The property has been served by the old KSW system, The contractor is aware of his responsibility to cut and cap the old KSW line at the main. The new coffee shop will be served from the newer municipal line. There will be no impact fees to be paid. The applicant will pay for a water meter \$ 451.00. The existing sewer service may be used.	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Parks/Arborist: No comment at this time.	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building: The building must meet 2012 International Building Code.	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Planning and Zoning: Comments are denoted throughout the staff report.	

Attachment B.
Table 2: Zoning Standards Analysis

Compliance with Zoning Standards													
Compliant			Standards and Staff Comments										
Yes	No	N/A	Guideline	City Standards and <i>Staff Comments</i>									
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.12.040	Minimum Lot Area									
			<i>Staff Comments</i>	Required: 5,500 square feet minimum. Existing: 4,308 square feet existing.									
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.040	Floor Area Ratios and Community Housing									
			<i>Staff Comments</i>	Permitted in CC Permitted Gross FAR: 1.0 Inclusionary Housing Incentive: 2.25 Lot area: 4,308 square feet									
				Total Floor Area									
				<table border="1"> <thead> <tr> <th></th> <th>Proposed</th> <th>Existing</th> </tr> </thead> <tbody> <tr> <td>1st Floor</td> <td align="center">1,364 SF</td> <td align="center">1,364 SF</td> </tr> <tr> <td>Total</td> <td align="center">1,364 Gross Floor Area</td> <td align="center">1,364 Gross Floor Area</td> </tr> </tbody> </table>		Proposed	Existing	1 st Floor	1,364 SF	1,364 SF	Total	1,364 Gross Floor Area	1,364 Gross Floor Area
	Proposed	Existing											
1 st Floor	1,364 SF	1,364 SF											
Total	1,364 Gross Floor Area	1,364 Gross Floor Area											
				Proposed FAR: 0.32 (1,364 sf/4,308 sf) Existing FAR: 0.32 (1,364 sf/4,308 sf)									
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	Minimum Building Setbacks									
			<i>Staff Comments</i>	Minimum: Front: 0' Side: 0' Rear: 0' Proposed: Front: 16' Side: 13'-3" Side: 0' Rear: 19'-9"									
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	Building Height									
			<i>Staff Comments</i>	Maximum Permitted: 42' Proposed: 19'									
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030.H	Curb Cut									
			<i>Staff Comments</i>	Required: A total of 35% of the linear footage of any street frontage can be devoted to access to off street parking. Proposed: Not proposed.									
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.125.020.A.2 & 17.125.050	Parking Spaces									
			<i>Staff Comments</i>	Off-street parking standards of this chapter apply to any new development and to any new established uses. Required: Restaurant, bars and eating/drinking establishment = 1 space per 100 square feet of assembly area. Assembly Area: 871 SF / 100 SF = 9 (8.7)									

			<p>Proposed: <i>Staff is requiring a shared parking plan between the Bellemont Hotel and the proposed Hotel Ketchum Coffee Shop. The agreement shall be recorded with the Blaine County Recorder's office prior to the issuance of a Building Permit.</i></p> <p><i>No on-site parking spaces are proposed. However, the subject property and the Bellemont Hotel Property, which surrounds the subject property on three sides, are held under the same ownership; the proposed coffee shop is being developed in order to provide an accessory amenity to the hotel use. In the recent approval for the Limelight Hotel, parking spaces were required for the primary uses- hotel rooms and residential units - but no parking spaces were required for the accessory food service/bar uses.</i></p> <p><i>The Bellemont Hotel has 58 hotel rooms and is required 44 parking spaces. The hotel site currently has 41 parking spaces and indicates on their site plan that the parking lot will be re-striped to accommodate two (2) additional parking spaces, resulting in 43 parking spaces. Additionally, the Bellemont Hotel site is 53,317 square feet in size.</i></p> <p><i>Since the property is located in the Community Core, the property is eligible for an on-street parking credit at a ratio of four (4) parking space credits per 5,500 square feet of site area. $53,317 / 5,500 = 9.69$ sections of site area 5,500 square feet in size; therefore, nine (9) sections x four (4) parking space credits = 36 on-street parking spaces credited.</i></p> <p><i>The Bellemont Hotel's on-site and street parking capacity will be 79 spaces after the parking lot is restriped, which exceeds the parking requirement for the hotel use by 35 parking spaces. Because the proposed coffee shop is held under the same ownership as the hotel, because the coffee shop is being developed as an accessory amenity to the hotel, and because parking spaces in excess of what is required for the hotel use are provided, staff finds the parking requirements for the coffee shop may be met through the shared parking agreement.</i></p> <p><i>The applicant currently has two (2) parking spaces proposed and the required number of parking spaces is nine (9). As the proposed coffee shop is intended to primarily serve the hotel guest, staff considers the coffee shop to be an amenity of the hotel itself. The applicant and staff will continue to work to address parking prior to Design Review approval.</i></p> <p><i>The proposed coffee shop and the Bellemont Hotel fall under the same ownership. The project is proposed to share a parking lot with the existing Bellemont Hotel. The applicant is proposing to remove the existing curb and drive aisle on-site and restripe the area to create the addition of two additional on-street parking spaces.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.18.150</p> <p>Zoning Matrix</p>
			<p>Staff Comments</p> <p>17.18.130: Community Core District A. Purpose: The purpose of the CC community core district is to promote a compact and cohesive center of commerce and culture, to promote an attractive and safe pedestrian environment which includes sidewalks, gathering spaces, streetscape amenities and landscaping, to retain the unique small town scale and character and to encourage buildings which respect Ketchum's historical and geographic context while providing diversity. Compatible mixed uses including retail, office, residential and cultural uses are encouraged. Commercial uses are concentrated in the CC district which is consistent with the city's comprehensive plan and the downtown master plan.</p>

Attachment C.

Table 3: Design Review Standards for all projects

Design Review Requirements				
IMPROVEMENTS AND STANDARDS: 17.96.060				
Improvements and standards for all projects listed in subsection 17.96.010A of this chapter:				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(1) Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
			<i>Staff Comments</i>	<i>The property is served by a public roadway. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(2) Streets	All street designs shall be approved by the City Engineer.
			<i>Staff Comments</i>	<i>The site is served by an existing street. The applicant is aware of this requirement and the final street design shall be approved by the City Engineer.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(B)(1)	All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks as required by the Public Works Department.
			<i>Staff Comments</i>	<i>The project qualifies as a substantial improvement and shall install sidewalks as required by the Public Works Department. The applicant is proposing a new concrete sidewalk, curb and gutter at the front of the property along N. Main St. The sidewalk curb and gutter are proposed to match existing. The final design shall receive approval from the Idaho Transportation Department and the City of Ketchum Public Works Department prior to the issuance of a building permit.</i> <i>17.08 Substantial Improvement: Includes the following:</i> <i>A. Any repair, reconstruction, or improvement of a structure, the cost of which equals or exceeds fifty percent (50%) of the market value of the structure over a three (3) year time frame either:</i> <i>1. Before the improvement or repair is started; or</i> <i>2. If the structure has been damaged and is being restored, before the damage occurred. For the purpose of this definition, "substantial improvement" is considered to occur when the first alteration of any wall, ceiling, floor, or other structural part of the building commences, whether or not that alteration affects the external dimensions of the structure.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(2)c	Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
			<i>Staff Comments</i>	<i>The proposed sidewalk width conforms to the City right of way standards.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(3)	Sidewalks may be waived if one of the following criteria is met: a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
			<i>Staff Comments</i>	<i>N/A.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(4)	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			<i>Staff Comments</i>	<i>The proposed sidewalks will be constructed equal to the length of the subject property line adjacent to N. Main St.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(5)	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			<i>Staff Comments</i>	<i>New concrete sidewalks adjacent to N. Main St. are proposed which will provide pedestrian connections to the existing sidewalk. The final sidewalk design shall receive approval from the City of Ketchum Public Works Department and Idaho Transportation Department prior to the issuance of a Building Permit.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(6)	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			<i>Staff Comments</i>	<i>A contribution in-lieu for this project is not recommended.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(1)	All storm water shall be retained on site.
			<i>Staff Comments</i>	<i>All storm water will be retained on site. The applicant shall receive final approval from the Public Works Department on the proposed site grading and drainage plan prior to the issuance of a Building Permit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(2)	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
			<i>Staff Comments</i>	<i>The proposed drainage improvements are equal to the length of the subject property lines adjacent to N. Main St. All drainage improvements shall require approval from the Public Works Department.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(3)	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			<i>Staff Comments</i>	<i>Additional drainage improvements are not recommended at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(4)	Drainage facilities shall be constructed per City standards.
			<i>Staff Comments</i>	<i>The Public Works Department has reviewed the drainage facilities and has no concerns at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(1)	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			<i>Staff Comments</i>	<i>The applicant is aware of this requirement and the plans show all applicable utility locations.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(2)	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
			<i>Staff Comments</i>	<i>The applicant is aware of this requirement. All existing utilities are located underground and all new utilities will be located underground.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(3)	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			<i>Staff Comments</i>	<i>The applicant is aware of this requirement and will comply with these standards and receive approval from the City Engineer prior to the issuance of a building permit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(1)	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			<i>Staff Comments</i>	<i>The property is zoned Community Core Retail Core subdistrict (CC-A). The proposed materials and colors will be complementary with the townscape, surrounding neighborhood and the adjoining Belmont Hotel, currently under remodel. The applicant shall submit a master signage plan prior to final Design Review approval.</i> <i>The applicant is proposing a light gray hand troweled exterior plaster wall to be accented by a combination of black aluminum clad wood doors and windows, blackened steel window surround, planters and detailing, and red painted steel windows and doors surround.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(2)	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			<i>Staff Comments</i>	<i>There are no identified landmarks on the property which provide a historical and/or cultural importance to the neighborhood/community.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(3)	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.

			<i>Staff Comments</i>	<i>The existing building is currently noticed for demolition per chapter 15.16.040 Historic Demolition. The building will be demolished and the proposed coffee shop will be new construction.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(1)	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			<i>Staff Comments</i>	<i>The proposed building and site layout provide unobstructed pedestrian accesses to the proposed sidewalk adjacent to N. Main St and the entryway is clearly defined.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(2)	The building character shall be clearly defined by use of architectural features.
			<i>Staff Comments</i>	<i>The proposed Hotel Ketchum Coffee Shop is designed to be placed on the same foundation as the existing Bellemont Radio Station. The Coffee shop is single story and is clearly defined by the use of architectural features. The design includes the use of a slight overhang of the entrance from N. Main St. and a portion of the building extends towards the proposed terrace at the front of the building. The applicant also proposes planters underneath the windows at the front of the building. The combination of these design element provide depth to the structure and create an inviting atmosphere for pedestrian traffic and patrons of the coffee shop.</i> <i>The north portion of the coffee shop does not include windows and is left blank, with the exception of the gas fire place which extends to the property line. This side of the building includes landscaping to complement the north façade.</i> <i>The south facing façade includes a small overhang to provide shelter for pedestrian access at the side of the building. The applicant has utilized a vertical window and a side entrance, clad in the blackened steel, red painted steel and black aluminum, to break up the appearance of bulk at the south facing façade.</i> <i>The east façade serves as rear of the building will provide access for the staff of the coffee shop. The elevation contains an entry way for staff and a roof overhang to break up the massing of the façade.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(3)	There shall be continuity of materials, colors and signing within the project.
			<i>Staff Comments</i>	<i>The materials shown provide a continuity of materials and colors for the project. The applicant is proposing hand troweled light-gray exterior plaster on all exterior walls. Blackened Steel is shown at the planters and window surround providing complement to light-gray plaster. Additionally, red painted steel window and door surround is shown at the front and south entrance of the proposed coffee shop, providing complement to the proposed black aluminum clad wood doors and windows.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(4)	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
			<i>Staff Comments</i>	<i>The proposed landscape features within the project complement the principal building and utilize the blackened steel window surround, planters and detailing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(5)	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
			<i>Staff Comments</i>	<i>The proposed building walls provide undulation/relief which will reduce the appearance of bulk and flatness. See staff comment in in section 17.96060.F.2 for further description.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(6)	Building(s) shall orient towards their primary street frontage.
			<i>Staff Comments</i>	<i>The proposed Coffee Shop orients towards N Main St. which is the primary street frontage for the property. .</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(7)	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			<i>Staff Comments</i>	<i>The proposed garbage storage area is located at the northeast corner of the Bellemont Hotel property. The garbage storage location is proposed to be shared between the coffee shop and the Bellemont Hotel. The location is existing and shall be screened from public view. The applicant states that it is the intent of the Bellemont Hotel to provide a trash enclosure for the existing garbage storage location.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(8)	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			<i>Staff Comments</i>	<i>The building design includes weather protection at the front entrance along N. Main St. by utilizing the proposed roof overhang. An awning is proposed at the south entrance at the side property line and the overhang is utilized at the rear of the property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(1)	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			<i>Staff Comments</i>	<i>Pedestrian and bicycle access is located from the sidewalk along N. Main St and along the rear and side of the property, connecting the property to the parking at the rear.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(2)	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			<i>Staff Comments</i>	<i>N/A. Awnings are not proposed. Per City Code: 17.08.020, an awning is defined as a covered architectural projection that extends from the exterior wall of a building for the purpose of providing shade, shelter or aesthetic value to the building facade.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(3)	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			<i>Staff Comments</i>	<i>Bicycle and pedestrian traffic will flow safely onto the sidewalk adjacent to N. Main St. Adequate sight distances have been provided.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(4)	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			<i>Staff Comments</i>	<i>N/A. Curb cuts are not proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(5)	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			<i>Staff Comments</i>	<i>Emergency and service vehicles can access the site from the west side of the property along N. Main St. or from the rear of the property from the parking lot of the Bellemont Hotel, providing unobstructed access for emergency vehicles, snowplows, and garbage trucks.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(1)	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
			<i>Staff Comments</i>	<i>The plans show snow storage at the south east corner of the shared parking lot. The applicant shall identify alternative means of snow removal should the two parking spaces be required during the winter months.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(2)	Snow storage areas shall be provided on site.
			<i>Staff Comments</i>	<i>Snow storage for the coffee shop is shown on two parking spaces located Bellemont Hotel parking lot. The applicant is proposing that the snow storage be hauled to accommodate two parking spaces at the south east portion of the Bellemont Hotel Parking lot.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(3)	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.
			<i>Staff Comments</i>	<i>The proposed snow storage area satisfies this requirement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(4)	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			<i>Staff Comments</i>	<i>The applicant is proposing to haul snow from the site to rear of the property of the Bellemont Hotel.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(1)	Landscaping is required for all projects.
			<i>Staff Comments</i>	<i>The applicant has proposed landscaping.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(2)	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			<i>Staff Comments</i>	<i>The proposed landscaping satisfies this requirement and serves to enhance and complement the neighborhood and townscape.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(3)	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			<i>Staff Comments</i>	<i>The proposed landscaping shall be drought tolerant. The City Arborist has reviewed the proposed landscaping and has no concerns at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(4)	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			<i>Staff Comments</i>	<i>The landscaping will provide a substantial buffer between the proposed coffee shop and traffic along N. Main St.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060(J)(1)	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			<i>Staff Comments</i>	<i>Sidewalks are required for the project. The applicant shall provide pedestrian amenities to serve the public at the front of the property, to receive approval from the Public Works Department prior to Design Review approval from the Commission.</i>

Attachment D.

Table 4: Design Review Standards for Community Core Projects

IMPROVEMENTS AND STANDARDS: 17.96.070 - Community Core (CC) Projects				
In addition to the requirements of section 17.96.060 of this chapter, unless otherwise specified, the standards of this section apply to projects in the Community Core district. The purpose of this section is to ensure the addition of high quality architecture for new development, while maintaining the unique character of existing building stock found in the Community Core.				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 A(1)	Street trees, street lights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.
			<i>Staff Comments</i>	<i>Street trees, street lights, street furnishings have not been proposed. Per Design Review standard 17.96.060.J.1 the applicant shall install pedestrian amenities as sidewalks are required. The applicant is proposing to remove the existing curb cut to be replaced with sidewalk, curb and gutter. The applicant shall coordinate with the Public Works Department on the installation and construction of all public amenities and street improvements.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(A)(2) Streets	Street trees with a minimum caliper size of three (3") inches, shall be placed in tree grates.
			<i>Staff Comments</i>	<i>N/A. Street trees are not proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(A)(3)	Due to site constraints, the requirements of this subsection 17.96.070.A may be modified by the Public Works Department.
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(1)	Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front façade.
			<i>Staff Comments</i>	<i>The south, east and west facing facades have been designed to include both solid surfaces and window openings intended to avoid the creation of blank walls. The north facing façade is not located more than five (5') feet from the interior side property line, however, this façade employs similar architectural elements, materials, and colors as the front façade. See staff comment in Table 3, section 17.96.060(F) (2) for further detail.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(2)	For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.
			<i>Staff Comments</i>	<i>Ground floor storefront windows and doors with clear transparent glass are proposed at the front of the proposed coffee shop. Landscaping planters have been incorporated into the façade front the pedestrian walkway along N. Main St.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(3)	For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.
			<i>Staff Comments</i>	<i>The front facing façade is designed to not obscure views into the windows of the coffee shop.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(4)	Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.
			<i>Staff Comments</i>	<i>The applicant is proposing to utilize a flat top roof which is compatible with the overall style and character of the structure itself, as well as the surrounding structures. Reflective materials are not proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070 (B)(5)	All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.
			<i>Staff Comments</i>	<i>N/A. The applicant is proposing a flat top roof.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(6)	Roof overhangs shall not extend more than three (3') feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.
			<i>Staff Comments</i>	<i>Roof overhangs are not proposed to extend over the public sidewalk.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(7)	Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.
			<i>Staff Comments</i>	<i>Front porches and stoop areas are not proposed. The proposed outdoor seating area on located at the front of the property shall not be enclosed by permanent or temporary walls, windows, window screens, or plastic/fabric materials.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(1)	Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views.
			<i>Staff Comments</i>	<i>The trash disposal area is shown to be shared with the Bellemont Hotel and located on Lot 1 of the Boulder Mountain Village Sub. The current garbage trash disposal is not screened from public views. The applicant states that the shared trash disposal area will be screened from public view.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(2)	Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.
			<i>Staff Comments</i>	<i>Roof and ground mounted mechanical/electrical equipment is not shown. Screening shall be provided should any roof and/or ground mounted mechanical/electrical equipment be provided in the future.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(D)(1)	When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.
			<i>Staff Comments</i>	<i>The applicant is proposing to locate five (5) medium sized trees from the site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(D)(2)	Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.
			<i>Staff Comments</i>	<i>The applicant is proposing one Quaking Aspen and two Multi-Stem Quaking Aspen located on the subject property within along the street side terrace and walkway surrounding the proposed structure. As the Quaking Aspen at the south most property line is located within a pedestrian walkway accessing the site the applicant shall place the Quaking Aspen within tree wells that are covered by tree grates. The remainder are not considered to be located within a courtyard, plaza or pedestrian walkway.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(D)(3)	The city arborist shall approve all parking lot and replacement trees.
			<i>Staff Comments</i>	<i>N/A. Parking lot and replacement trees are not proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(1)	Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.

			<i>Staff Comments</i>	N/A.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(2)	Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.
			<i>Staff Comments</i>	N/A.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(3)	Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.
			<i>Staff Comments</i>	N/A. This standard is applicable to surface parking lots which are not proposed on the subject property.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(1)	One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided for every four (4) parking spaces as required by the proposed use. At a minimum, one (1) bicycle rack shall be required per development.
			<i>Staff Comments</i>	The project requires nine (9) parking spaces. The total number of bike racks required are two (2) able to accommodate a total of four (4) bike racks. The applicant has one (1) bicycle rack proposed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(2)	When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half (1/2) shall be adjusted to the next highest whole number.
			<i>Staff Comments</i>	See above.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(3)	Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.
			<i>Staff Comments</i>	The proposed bicycle rack location is clearly visible from the building entrance and will not be mounted less than fifty (50') feet from the entrance. The single rack location is such that it will not obstruct access to the public right-of-way and is not located in areas requiring access via stairways or other major obstacles.

Attachment E. Application



City of Ketchum
Planning & Building

**CERTIFIED
COMPLETE**

6-22-17

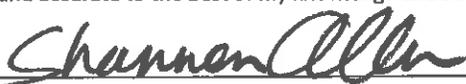
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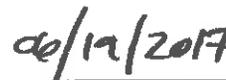
OFFICIAL USE ONLY	
File Number:	
Date Received:	6-20-17
By:	K. Owens
Pre-Application Fee Paid:	\$1,100
Design Review Fee Paid:	
Approved Date:	
Denied Date:	
By:	C. Anderson
ADPE: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

Design Review Application

APPLICANT INFORMATION				
Project Name: Hotel Ketchum Coffee Shop		Phone: Shannon Allen (901)508-2191		
Owner: Ketchum & Mustard, llc.; Local Contact: Shannon Allen		Mailing Address:		
Email: shannon.allen@haymaxhotels.com		605 West Main St. Suite 2 Aspen, CO 81611		
Architect/Representative: Mark de Reus; Local Contact: John Rowland		Phone: John Rowland (208)928-7750		
Email: johnrowland@dereusarchitects.com		Mailing Address:		
Architect License Number: 1228		deReus Architects c/o John Rowland P.O. Box 1061 Hailey, ID 83340		
Engineer of Record: Sean Flynn		Phone: (208)788-1705		
Email: sflynn@galena-engineering.com		Mailing Address:		
Engineer License Number: 12497		317 N. River ST. Hailey, ID 83333		
All design review plans and drawings for public commercial projects, residential buildings containing more than four (4) dwelling units and development projects containing more than four (4) dwelling units shall be prepared by an Idaho licensed architect or an Idaho licensed engineer.				
PROJECT INFORMATION				
Legal Land Description: Lot 2, S 2' off 3 BLK 7				
Street Address: 620 North Main St. Ketchum, Idaho 83340				
Lot Area (Square Feet): 4,308 sq. ft.				
Zoning District: Community Core, Sub-District A-Retail Core				
Overlay District: <input type="checkbox"/> Floodplain <input type="checkbox"/> Avalanche <input type="checkbox"/> Mountain				
Type of Construction: <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Remodel <input type="checkbox"/> Other (using existing foundation)				
Anticipated Use: Coffee Shop		Number of Residential Units: 0		
TOTAL FLOOR AREA (No area change, re-using existing foundation)				
	Proposed		Existing	
		Sq. Ft.		Sq. Ft.
Basements				
1 st Floor	1,364	Sq. Ft.	1,364	Sq. Ft.
2 nd Floor		Sq. Ft.		Sq. Ft.
3 rd Floor		Sq. Ft.		Sq. Ft.
Mezzanine		Sq. Ft.		Sq. Ft.
Total	1,364	Sq. Ft.	1,364	Sq. Ft.
FLOOR AREA RATIO				
Community Core: 31%		Tourist:		
		General Residential-High:		
BUILDING COVERAGE/OPEN SPACE				
Percent of Building Coverage: 41%				
DIMENSIONAL STANDARDS/PROPOSED SETBACKS				
Front: Match Existing @18'-7.5" to 19'-11"		Side: Match Existing S. @13'-3"		
		Side: Match Existing N. @ 0'-0"		
		Rear: Match Existing @ 19'-9"		
Building Height: 19'-0" off finished floor				
OFF STREET PARKING				
Parking Spaces Provided: 2				
Curb Cut: -NA-		Sq. Ft. %		
WATER SYSTEM				
<input checked="" type="checkbox"/> Municipal Service		<input type="checkbox"/> Ketchum Spring Water		

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.


Signature of Owner/Representative


Date

DESIGN REVIEW EVALUATION STANDARDS

(May not apply to Administrative Design Review):

17.96.060: IMPROVEMENTS AND STANDARDS FOR ALL PROJECTS

A. Streets:

1. The applicant shall be responsible for all costs associated with providing a connection from an existing city streets to their development.
2. All streets designs shall be in conformance with the right-of-way standards and approved by the Public Works Director.

B. Sidewalks:

1. All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks in conformance with the right-of-way standards. Sidewalk improvements may be waived for projects that qualify as a "Substantial Improvement" which comprise additions of less than 250 square feet of conditioned space.
2. The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
3. New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
4. The city may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the Public Works Director. Any approved in-lieu contribution shall be paid before the city issues a certificate of occupancy.

C. Drainage:

1. All storm water shall be retained on site.
2. Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
3. The Public Works Director may require additional drainage improvements as necessary, depending on the unique characteristics of a site.

DESIGN REVIEW APPLICATION CERTIFICATION OF COMPLETENESS

Project Name: Hotel Ketchum Coffee Shop	Reviewed by: <i>Keshia Owens</i>
Date: 6/20/2017	Time: <i>9:33 AM, 6/22/17</i>

REQUIRED DOCUMENTS (CHECK ALL THAT APPLY):

- Design review application form including project name, location, applicant, owner, project representatives and contact information.
- One (1) PDF electronic set of the complete application containing all requirements as listed below, plans appropriately scaled, shall be submitted. Electronic record of the materials and color sample board may be satisfied with photos. One (1) hardcopy set of scalable plans showing at a minimum the following:
 - Vicinity map, to scale, showing the project location in relationship to neighboring buildings and the surrounding area. Note: a vicinity map must show location of adjacent buildings and structures.
 - Drainage plan (grading, catch basins, piping, and dry-wells).
 - Utilities plan (location and size of water and sewer mains and services, gas, electric, TV and phone).
 - Site plan, to scale, showing proposed parking (including parking stall dimensions), loading, general circulation and snow storage. List square footage of subject property including lot dimensions.
 - Landscape plan (existing landscaping on the site shown and adjacent right-of-way as retained, relocated or removed; proposed landscaping including species type, size and quantity).
 - Floor plan. List gross and net square footage for each floor. List occupancy classification and type of construction.
 - Detailed elevations of all sides of the proposed building and other exterior elements (colors, materials).
 - Exterior lighting plan, pursuant to chapter 17.132, showing location, height, type and lumen output; spec sheets for fixtures; illuminance levels/photometrics for area lighting.
- Electronic* One (1) 11" x 17" materials and colors sample board showing all exterior materials used on the façade of the structure. A digital copy may be sufficient as approved by the Administrator.
- Construction management plan showing where staging will occur, where materials are stored and parking plan for contractors. If any staging or parking shall occur off-site, a staging/parking plan must be submitted including materials storage, excavation (backfill) stockpile areas, job trailers, blue rooms, dumpsters and contractor parking.

TBD

■ Building corners for all proposed buildings and additions shall be staked on the site and all trees proposed to be removed shall be flagged at least one week prior to the Commission meeting. The applicant shall install story poles, or other approved method, at the maximum roof peaks of the proposed buildings as required by the Administrator.

✓ ■ For projects requiring pre-application design review, a model or computer simulation renderings, as described in subsection 17.96.010(C) of this chapter shall be required.

- For new multi-tenant buildings, a master signage plan shall be submitted. *- In Progress.*
- The Administrator may waive some submittal requirements if it is determined the information is not relevant to the design review.
- Other information as required by the Administrator or the Commission.
- Design review fee shall be submitted as described in section 17.96.100 of this chapter.

STAFF COMMENTS:

Make sure a master signage Plan is received before final approval.

Attachment F. Plans, dated: 06/20/2017



Mark Edson De Reus

PROJECT:
**HOTEL KETCHUM
COFFEE SHOP**

620 N. Main St.
Ketchum, Idaho

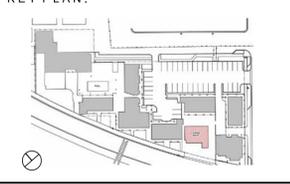
DE REUS ARCHITECTS, INC.
The designs and concepts shown are the sole property of de Reus Architects. The drawings may not be used except with the expressed written consent of de Reus Architects.

DATE	ISSUE
06-20-2017	Pre-Application Design Review

REVISIONS:		
NO	DATE	ISSUE

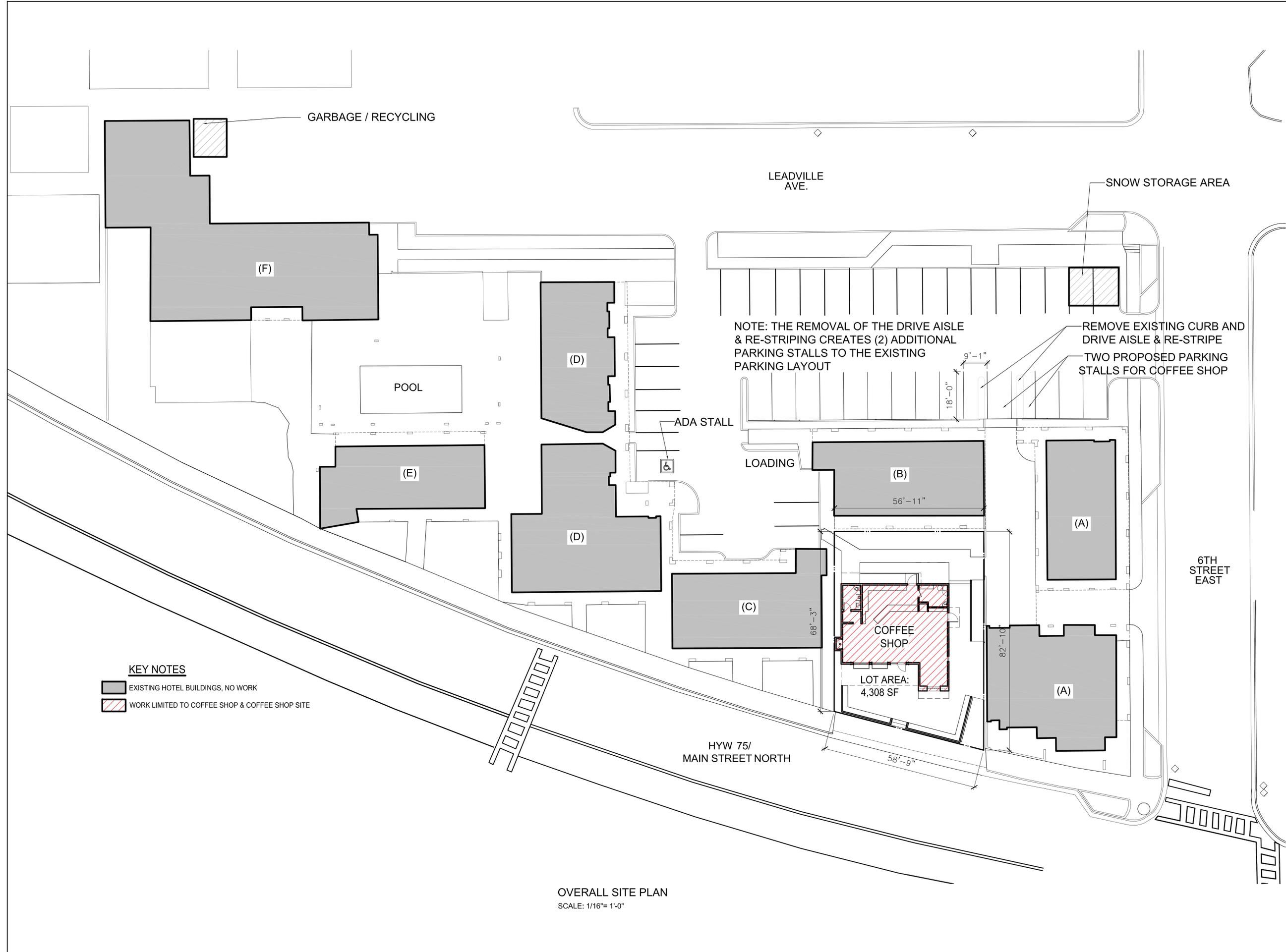
DRAWING TITLE:
OVERALL SITE PLAN

PROJECT #: 17-008
DRAWN BY: AA
CHECKED BY: JR/MDR



DRAWING NO:

A100



OVERALL SITE PLAN
SCALE: 1/16"= 1'-0"



Mark Edison De Reus

PROJECT:
**HOTEL KETCHUM
COFFEE SHOP**

620 N. Main St.
Ketchum, Idaho

DE REUS ARCHITECTS, INC.
The designs and concepts shown are the sole property of de Reus Architects. The drawings may not be used except with the expressed written consent of de Reus Architects.

DATE	ISSUE
06-20-2017	Pre-Application Design Review

REVISIONS:

NO	DATE	ISSUE

DRAWING TITLE:

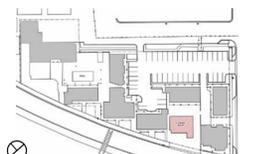
FLOOR PLAN

PROJECT #: 17-008

DRAWN BY: AA

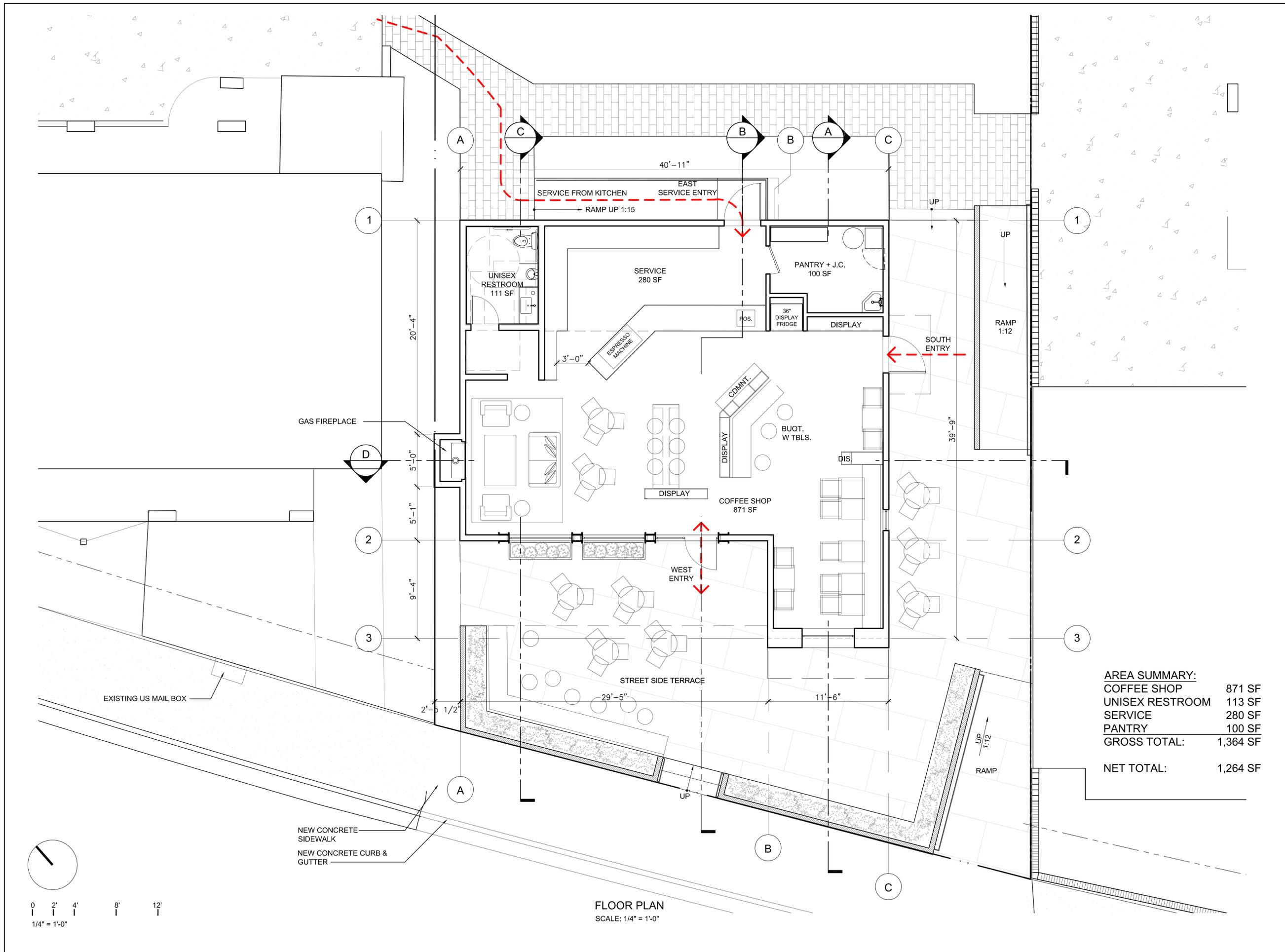
CHECKED BY: JR/MDR

KEY PLAN:



DRAWING NO:

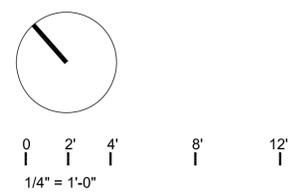
A200



AREA SUMMARY:

COFFEE SHOP	871 SF
UNISEX RESTROOM	113 SF
SERVICE	280 SF
PANTRY	100 SF
GROSS TOTAL:	1,364 SF
NET TOTAL:	1,264 SF

FLOOR PLAN
SCALE: 1/4" = 1'-0"





Mark Edison De Reus

PROJECT:
**HOTEL KETCHUM
COFFEE SHOP**

620 N. Main St.
Ketchum, Idaho

DE REUS ARCHITECTS, INC.
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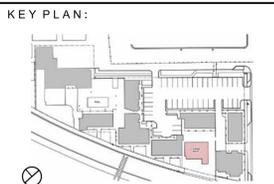
DATE	ISSUE
06-20-2017	Pre- Application Design Review

REVISIONS:

NO	DATE	ISSUE

DRAWING TITLE:
REFLECTED CEILING PLAN

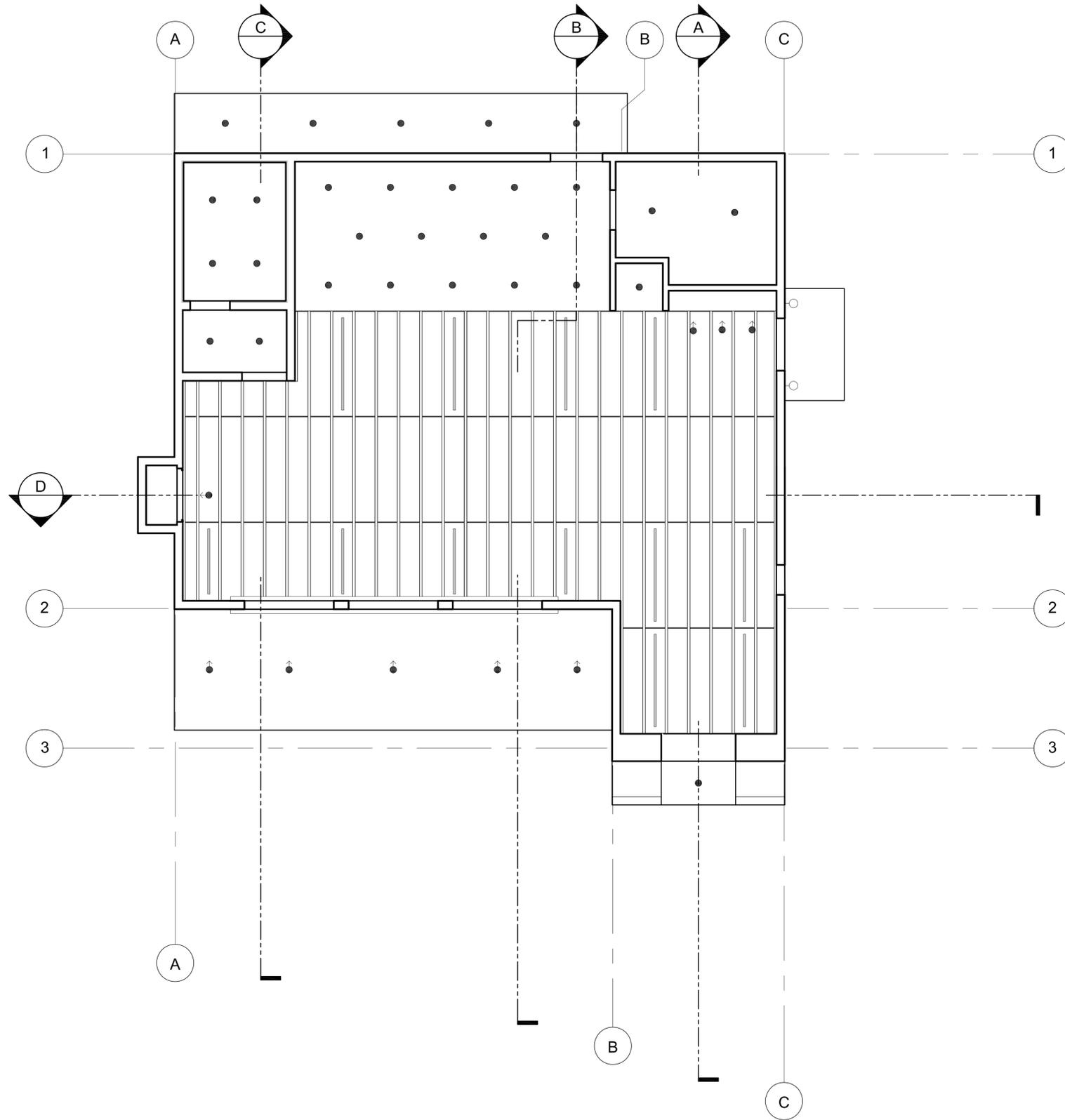
PROJECT #: 17-008
DRAWN BY: AA
CHECKED BY: JR/MDR



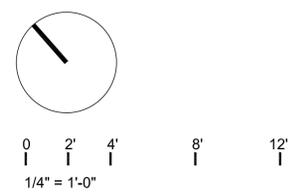
DRAWING NO:
A300

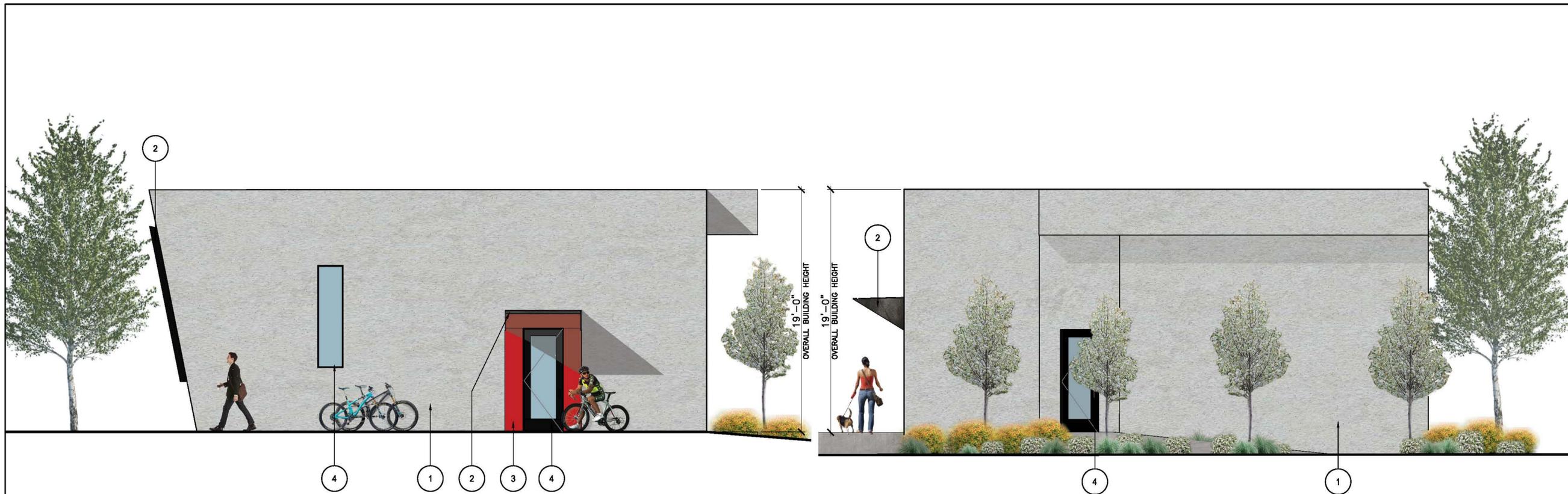
KEY NOTES

- CAN LIGHT
- ◀ DIRECTIONAL CAN LIGHT
- SURFACE MOUNTED WALL SCONCE
- ▬ LED SLOT LIGHTS



REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

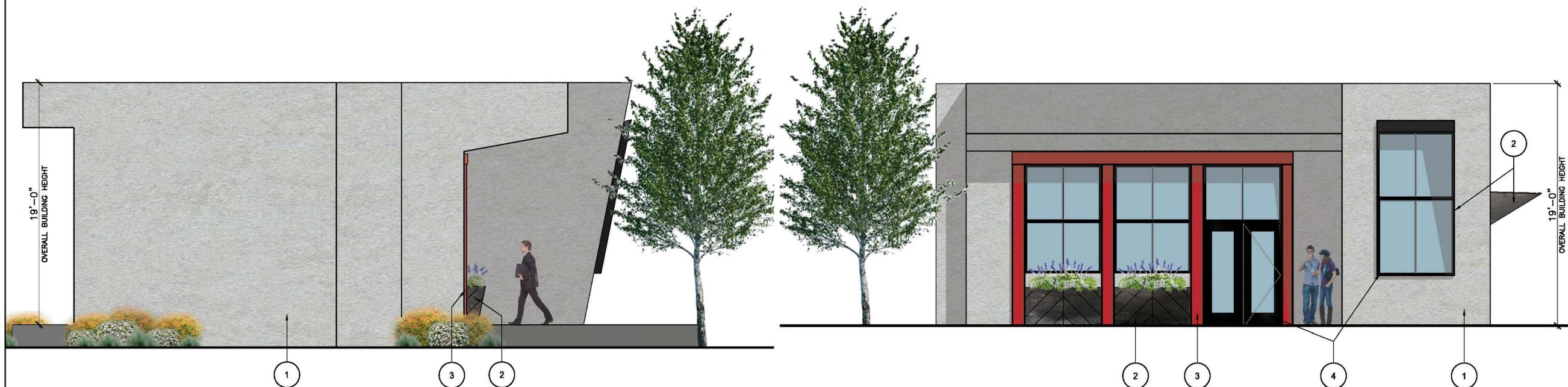




1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

- KEY NOTES**
1. HARD TROWELED LIGHT-GRAY EXTERIOR PLASTER
 2. BLACKENED STEEL PLANTERS & WINDOW SURROUND
 3. RED PAINTED STEEL WINDOW & DOOR SURROUND
 4. BLACK ALUMINUM CLAD WOOD DOORS & WINDOWS



3 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

4 WEST ELEVATION
SCALE: 1/4" = 1'-0"

de Reus Architects
WAIMEA SUN VALLEY

333 SOUTH MAIN STREET, SUITE 206
KETCHUM, IDAHO 83340



Mark Edison De Reus

PROJECT:
**HOTEL KETCHUM
COFFEE SHOP**

620 N. Main St.
Ketchum, Idaho

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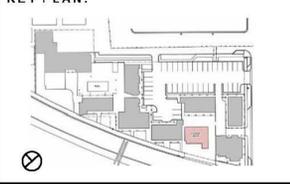
DATE	ISSUE
06-20-2017	Pre-Application Design Review

REVISIONS:

NO	DATE	ISSUE

DRAWING TITLE:
HOTEL KETCHUM

PROJECT #: 17-008
DRAWN BY: AA
CHECKED BY: JRMDR



DRAWING NO:
A400



Mark de Reus

PROJECT:
**HOTEL KETCHUM
COFFEE SHOP**

620 N. Main St.
Ketchum, Idaho

DE REUS ARCHITECTS, INC.
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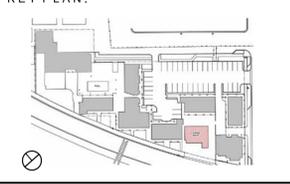
DATE	ISSUE
06-20-2017	Pre-Application Design Review

REVISIONS:

NO	DATE	ISSUE

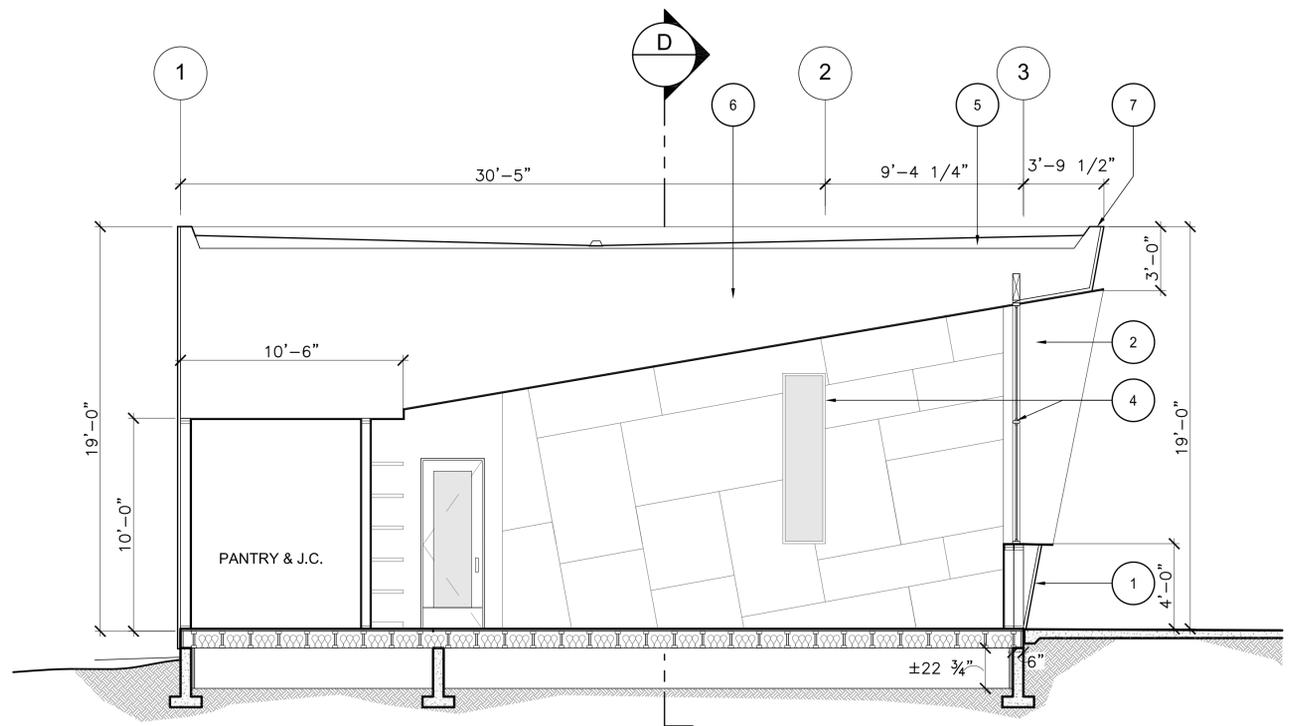
DRAWING TITLE:
BUILDING SECTIONS

PROJECT #: 17-008
DRAWN BY: AA
CHECKED BY: JR/MDR

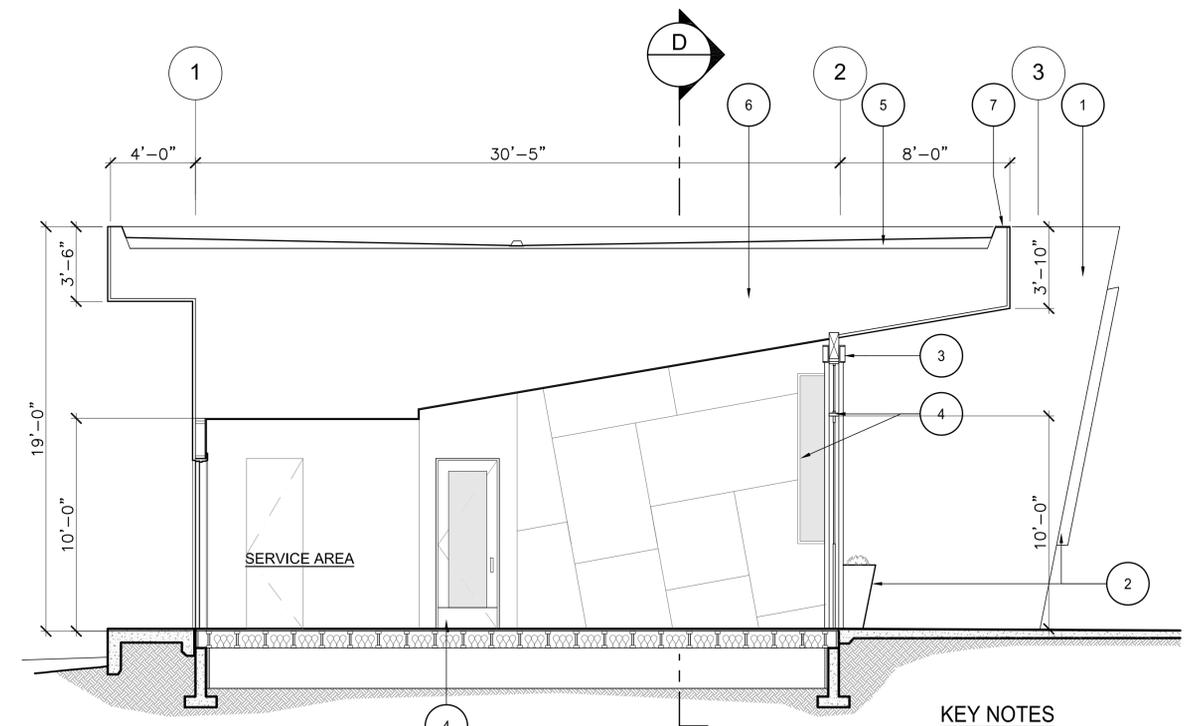


DRAWING NO:

A500



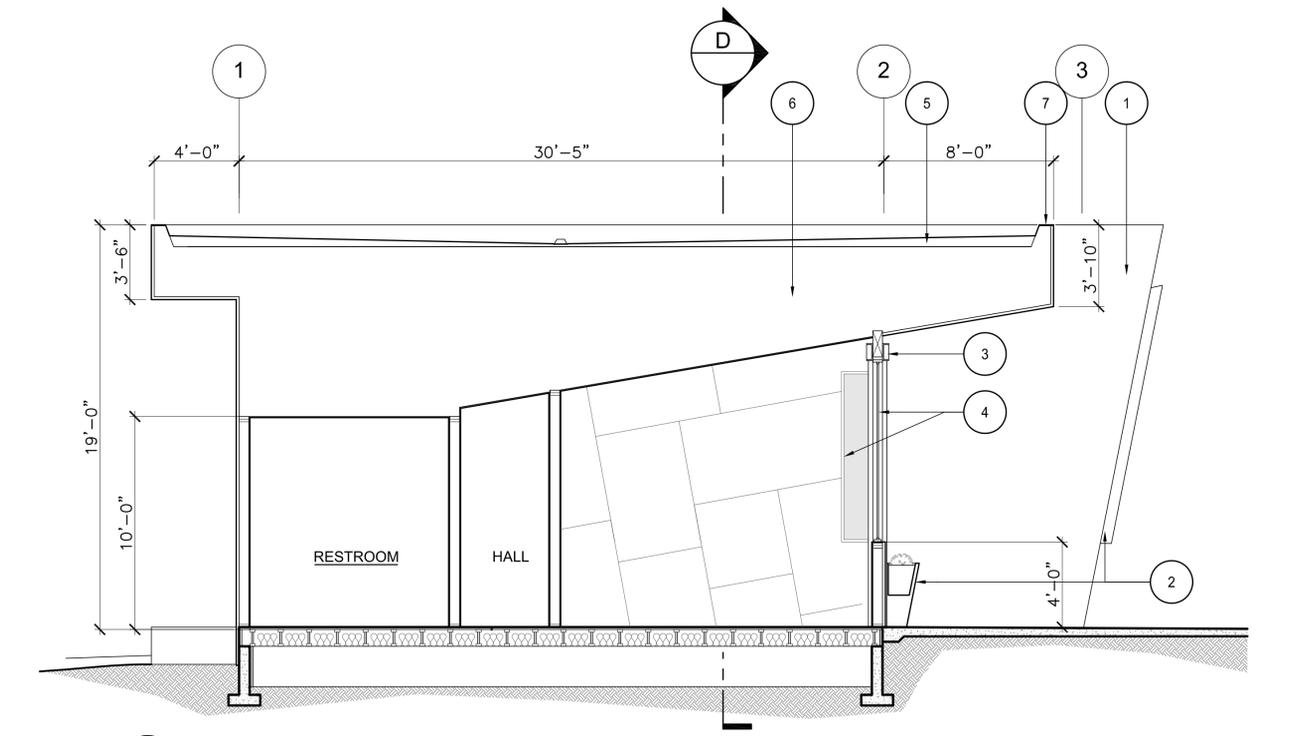
A SECTION
SCALE: 1/4" = 1'-0"



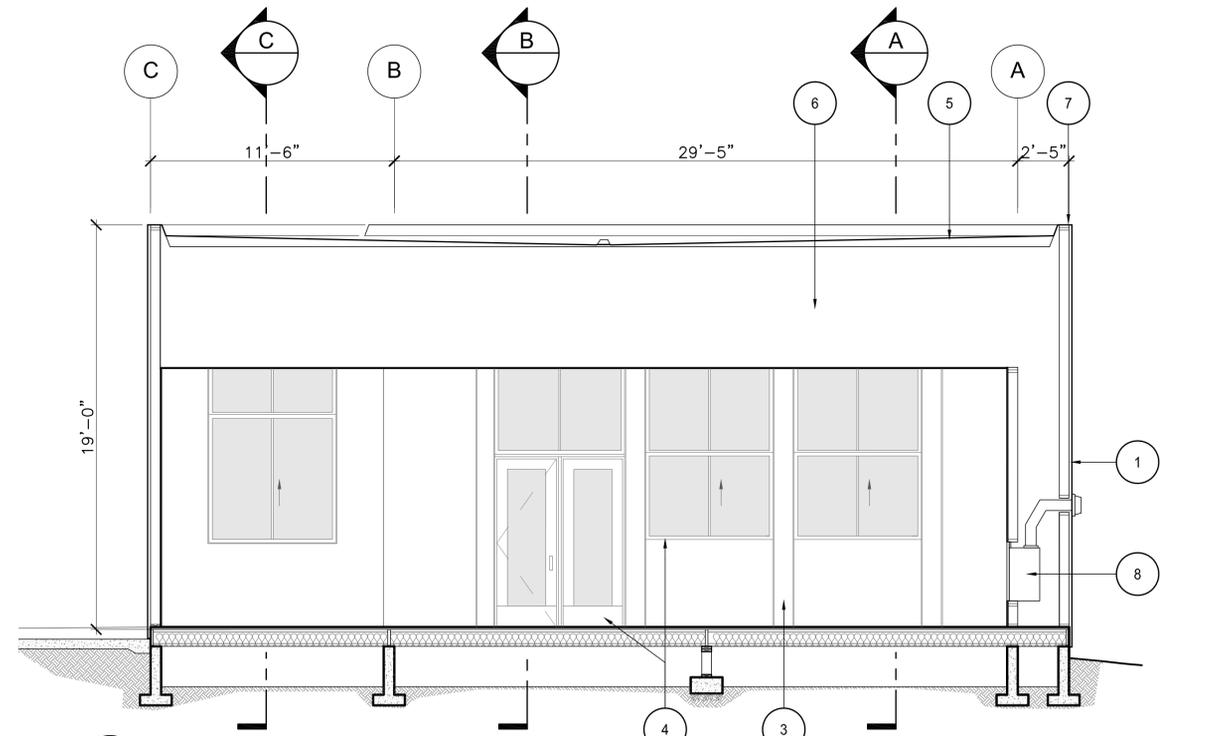
B SECTION
SCALE: 1/4" = 1'-0"

KEY NOTES

1. HARD TROWELED LIGHT-GRAY EXTERIOR PLASTER
2. BLACKENED STEEL PLANTERS & WINDOW SURROUND
3. RED PAINTED STEEL WINDOW & DOOR SURROUND
4. BLACK ALUMINUM CLAD WOOD DOORS & WINDOWS
5. BALLASTED MEMBRANE FLAT ROOF SYSTEM
6. PRE-MFR ROOF TRUSSES
7. ALUMINUM FLASHINGS PAINTED TO MATCH ADJACENT SURFACES
8. ZERO CLEARANCE GAS FIREPLACE



C SECTION
SCALE: 1/4" = 1'-0"



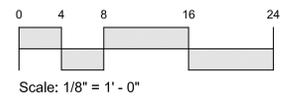
D SECTION
SCALE: 1/4" = 1'-0"

General Notes

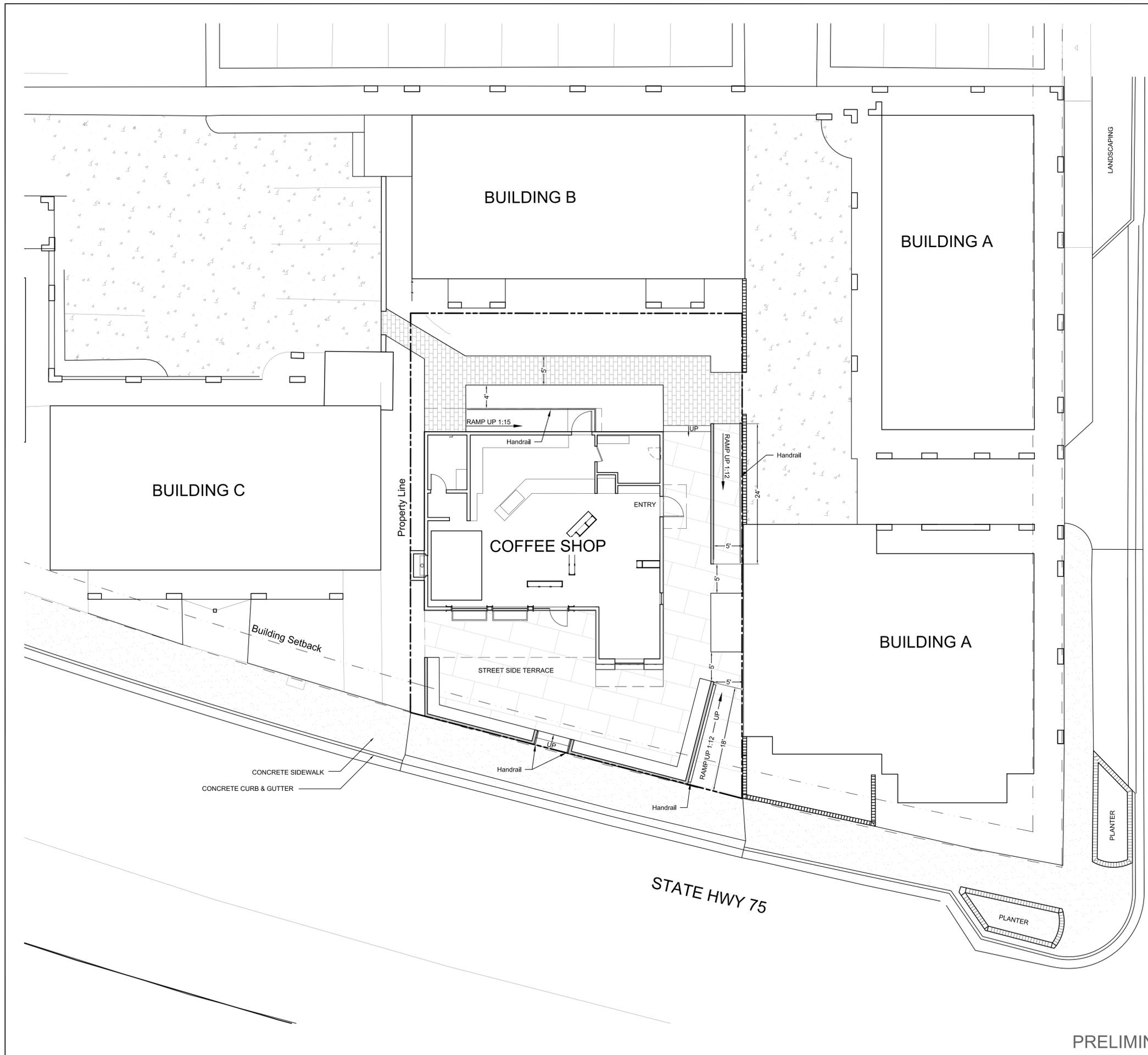
1. Base map information taken from survey by Galena Engineering and from on-site information. Architectural information provided by deReus Architects dated 06/01/17. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

Plan Legend

	Property Line
	Building Envelope
	Existing Fence
	Existing Masonry Wall
	Proposed Concrete Wall
	Pavers
	Existing Sidewalk
	Flagstone - Iron Mountain
	Asphalt
	Existing Pavers



PRELIMINARY ONLY - NOT FOR CONSTRUCTION



6th STREET

STATE HWY 75

BUILDING B

BUILDING A

BUILDING C

COFFEE SHOP

BUILDING A

STREET SIDE TERRACE

Building Setback

CONCRETE SIDEWALK
CONCRETE CURB & GUTTER

LANDSCAPING

PLANTER

PLANTER

Property Line

RAMP UP 1:15

UP

RAMP UP 1:12

UP

RAMP UP 1:12

UP

Handrail

Handrail

ENTRY

Handrail

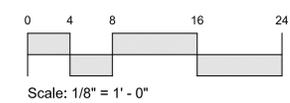
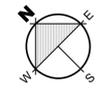
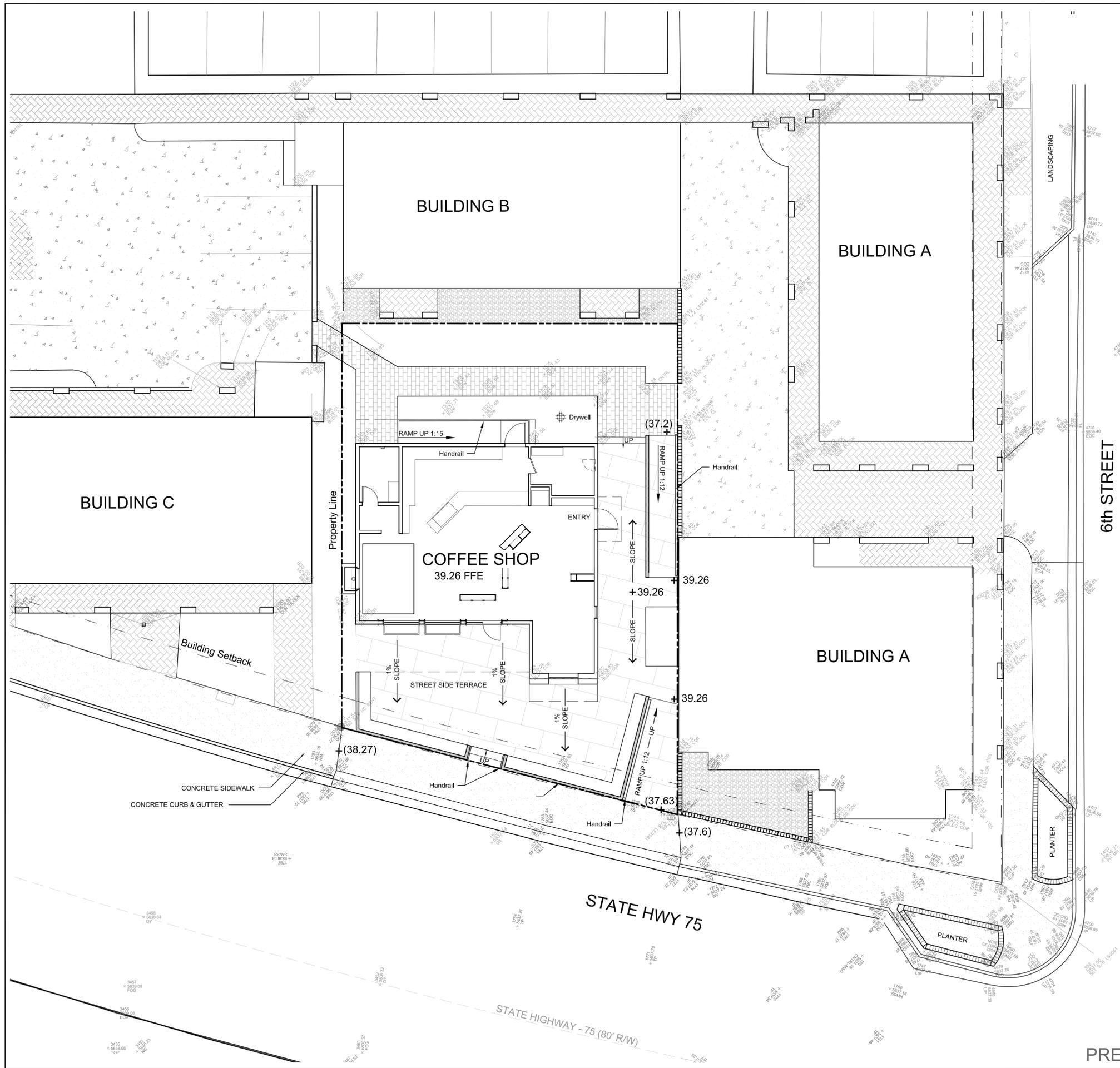
Handrail

General Notes

1. Base map information taken from survey by Galena Engineering and from on-site information. Architectural information provided by deReus Architects dated 06/01/17. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

Plan Legend

	Property Line
	Building Setback
	Existing Fence
	Existing Masonry Wall
	Proposed Concrete Wall
	Pavers
	Existing Sidewalk
	Concrete
	Asphalt
	Existing Pavers
	Existing Spot Elevations
	Proposed Drainage Direction With Slope Percentage
	Proposed Spot Elevations
	New Drywell



Scale: 1/8" = 1' - 0"



PRELIMINARY ONLY - NOT FOR CONSTRUCTION

Landscape Plan Notes

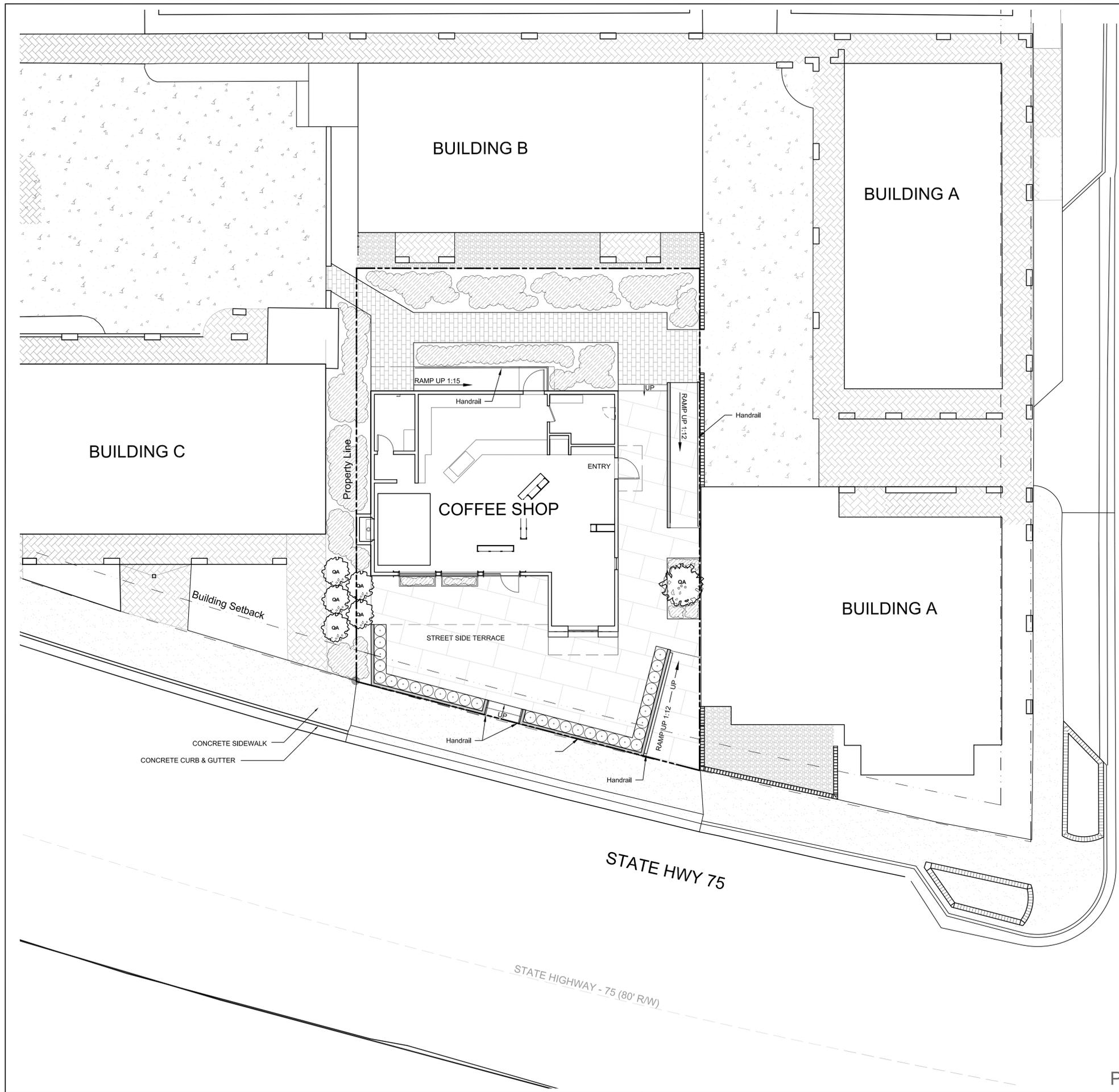
1. All Disturbed areas shall be revegetated and irrigated with an automatic underground sprinkler system.
2. All planting beds to have 3" cover of bark or compost mulch.
3. Trees shown at approximately 2/3 mature diameter.
4. All utilities are underground and shall be located prior to any work.

Plant Legend

Qty.	Abbv. Species	Scientific Name	Size
5	Medium Trees		2-1/2-3" Cal.
5	Quaking Aspen		
1	Multi-Stem Quaking Aspen		
31	Deciduous Shrubs		5 gal. & 1 gal.
31	Tor Birch Leaf Spirea		
	Flowers		Various

Plan Legend

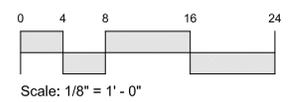
	Property Line
	Building Setback
	Existing Fence
	Existing Masonry Wall
	Proposed Concrete Wall
	Pavers
	Existing Sidewalk
	Concrete
	Asphalt
	Existing Pavers



6th STREET

STATE HWY 75

STATE HIGHWAY - 75 (80' R/W)



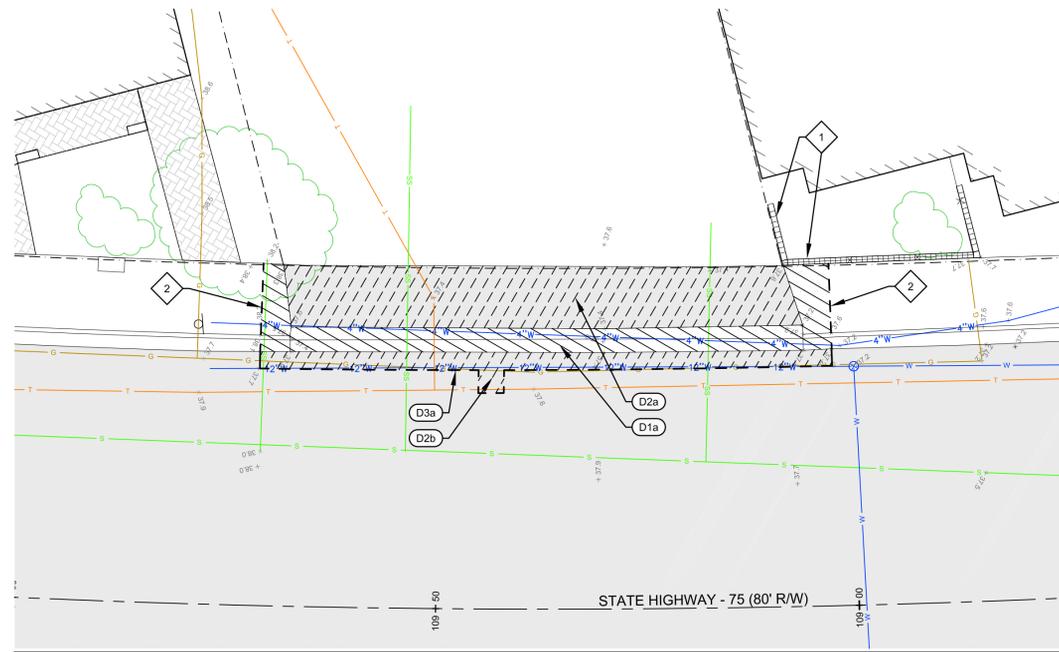
PRELIMINARY ONLY - NOT FOR CONSTRUCTION

REUSE OF DRAWINGS

These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Galena Engineering, Inc..

GENERAL CONSTRUCTION NOTES

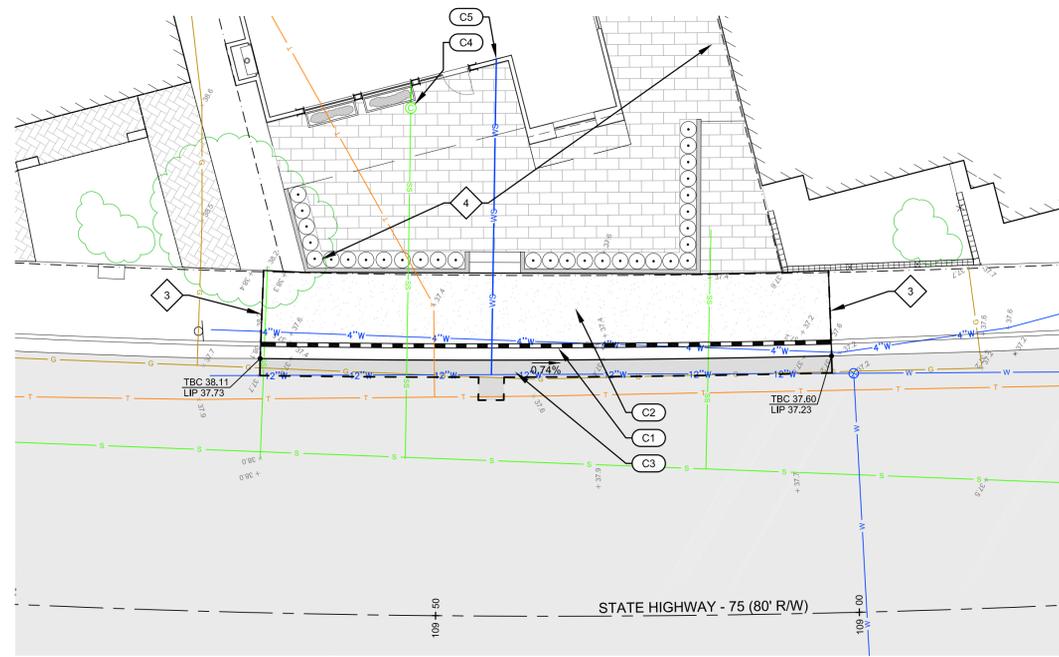
1. THE WORK OF THIS PROJECT IS DESIGNED TO MEET IDAHO TRANSPORTATION DEPARTMENT (ITD) STANDARDS. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CONTRACT DOCUMENTS, THESE DRAWINGS, AND THE MOST CURRENT EDITION OF THE ITD STANDARD DRAWINGS AND SPECIFICATIONS FOR HIGHWAY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THESE DOCUMENTS, DRAWINGS, AND SPECIFICATIONS FOR HIGHWAY CONSTRUCTION ON SITE DURING CONSTRUCTION.
2. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
3. EXISTING STREET MONUMENTATION IS NOT ANTICIPATED TO BE DISTURBED BY THE WORK ON THIS PROJECT. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING MONUMENTATION WHICH RESULTS FROM HIS FAILURE TO LOCATE AND PROTECT THESE MONUMENTS.
4. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL THE NECESSARY PERMITS PRIOR TO CONSTRUCTION IF NOT ALREADY OBTAINED BY THE OWNER, AND SHALL CHECK WITH THE CITY OF KETCHUM FOR PERMITS THE OWNER MAY ALREADY HAVE OBTAINED.
6. ALL CLEARING & GRUBBING SHALL CONFORM TO SECTION 201.
7. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO SECTION 205. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91. NO AGGREGATE MATERIAL SHALL BE PLACED PRIOR TO APPROVAL OF THE SUBGRADE BY THE ENGINEER.
8. ALL 2" MINUS AGGREGATE SHALL CONFORM TO SECTION 703.04, 2", AND SHALL BE PLACED IN CONFORMANCE WITH SECTION 303 AND 306. DETERMINE THE DENSITY OF THE AGGREGATE BASE IN PLACE IN ACCORDANCE WITH AASHTO T310, METHOD B. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
9. ALL 3/4" MINUS CRUSHED AGGREGATE SHALL CONFORM TO SECTION 703.04, 3/4" B, AND SHALL BE PLACED IN CONFORMANCE WITH SECTION 303 AND 306. DETERMINE THE DENSITY OF THE AGGREGATE BASE IN PLACE IN ACCORDANCE WITH AASHTO T310, METHOD B. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
10. ALL ASPHALT PAVING WORK SHALL CONFORM TO SECTIONS 401, 405, AND 306. ASPHALT PAVING SHALL BE 1/2" SUPERPAVE SP3 HOTMIX ASPHALT PER 703.05-1. ASPHALT AGGREGATE SHALL BE 1/2" NOMINAL SIZE CONFORMING TO TABLE 703.05-2. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING SECTION 702.01. PLANTMIX DESIGN SHALL BE SUBMITTED TO THE ENGINEER AND ITD FOR APPROVAL.
11. COMPACTION REPORTS FOR BORROW PLACEMENT, PIPE BACKFILL, AND PLANTMIX ASPHALT PLACEMENT SHALL BE SUBMITTED TO THE ENGINEER AND ITD ACCORDING TO THE PROJECT SPECIFICATIONS AND THE CONTRACT DOCUMENTS.
12. ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAWCUT A MINIMUM OF 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER MUTCD.
14. ALL CONCRETE SIDEWALK WORK SHALL CONFORM TO SECTION 613. ALL CONCRETE CURB AND GUTTER SHALL CONFORM TO SECTION 615. ALL CONCRETE SHALL BE ACCORDING TO SECTION 509, 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN TABLE 509.01-1. CONCRETE SURFACE SHALL HAVE A COARSE BROOM FINISH, OR AS APPROVED BY THE ENGINEER. ALL CONCRETE FORM INSTALLATION SHALL BE APPROVED BY THE ENGINEER, OR DESIGNATED REPRESENTATIVE. PRIOR TO PLACING CONCRETE, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONCRETE PLACEMENT ACTIVITIES. THE CONTRACTOR SHALL KEEP A PERSON ON THE JOB SITE FOR THE FIRST FOUR HOURS FOLLOWING THE CONCRETE SURFACE BROOMING FINISH FOR THE PURPOSE OF PREVENTING AND REPAIRING ANY DAMAGE TO THE SURFACE OF THE NEWLY PLACED CONCRETE.



DEMOLITION SCHEDULE

- D1 REMOVE AND DISPOSE OF CONCRETE CURB, GUTTER, AND SIDEWALK**
 - a. STA: 109+02.57, 30.17' RT TO STA: 109+71.26, 40.13' RT
- D2 REMOVE AND DISPOSE OF ASPHALT.**
 - a. STA: 109+05.98, 33.04' RT TO STA: 109+68.80, 40.13' RT
 - b. STA: 109+02.55, 28.17' RT TO STA: 109+71.39, 31.26' RT
- D3 SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE**
 - a. STA: 109+02.55, 28.17' RT TO STA: 109+71.39, 31.26' RT
- 1 RETAIN AND PROTECT WALL**
- 2 UTILIZE EXISTING EXPANSION JOINT**

DEMOLITION PLAN



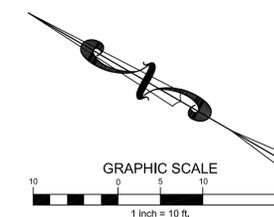
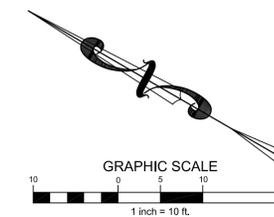
GRADING AND UTILITY PLAN

CONSTRUCTION SCHEDULE

- C1 CONSTRUCT CONCRETE CURB AND GUTTER PER ITD STANDARD DRAWING 615-1, SECTION 2**
 - a. STA: 109+02.57, 30.17' RT TO STA: 109+71.38, 31.76' RT
- C2 CONSTRUCT CONCRETE SIDEWALK PER ITD STANDARD DRAWING 614-1, SECTION A-A.**
 - a. STA: 109+02.58, 32.04' RT TO STA: 109+71.26, 40.19' RT
- C3 CONSTRUCT ASPHALT PATCH, MATCH EXISTING MATERIALS AND LAYER THICKNESSES.**
 - a. STA: 109+02.55, 28.17' RT TO STA: 109+71.41, 29.84' RT
- C4 CONNECT TO EXISTING SEWER SERVICE**
- C5 INSTALL CITY OF KETCHUM WATER SERVICE, CONNECT TO 12" WATER MAIN.**
- 3 MATCH EXISTING LINES AND GRADES**
- 4 PROPOSED HOTEL KETCHUM COFFEE SHOP IMPROVEMENTS. REFER TO ARCHITECTURAL AND LANDSCAPE DRAWINGS FOR DETAILS**

LEGEND

- Property Line / Right-of-way
- Centerline of Right-of-way
- Existing Curb & Gutter
- Proposed Curb & Gutter
- Existing Asphalt
- Proposed Asphalt
- Existing Building / Structure
- Proposed Concrete Sidewalk
- Existing Pavers
- Proposed Pavers
- Vegetation
- Sign
- Existing Spot Elevation
- Proposed Spot Elevation
- 0.74% Proposed Grade
- Wall
- Fence
- Gas Line
- Telephone Line
- Sewer Line
- Sewer Service
- Sewer Cleanout
- 4" KSV Water Line
- 12" Water Line
- Water Valve
- WS Water Service
- LIP = Lip of Gutter
- TBC = Top back of Curb



deReusArchitects
WAIMEA SUN VALLEY

333 SOUTH MAIN STREET, SUITE 206
KETCHUM, IDAHO 83340



FOR DESIGN REVIEW ONLY
NOT FOR CONSTRUCTION

PROJECT:
**HOTEL KETCHUM
COFFEE SHOP**

620 N. Main St.
Ketchum, Idaho

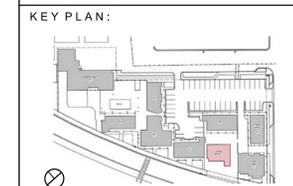
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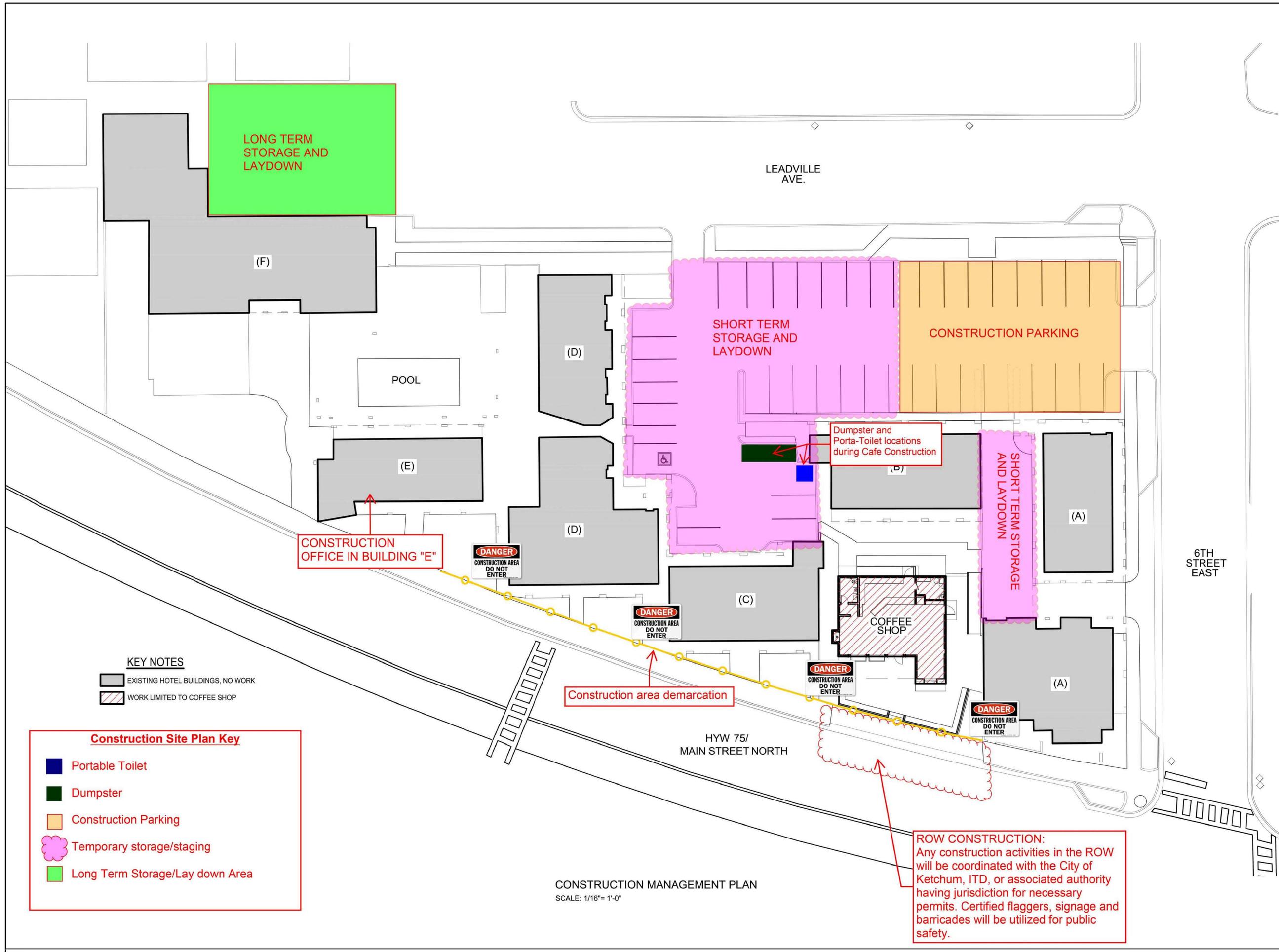
DRAWING TITLE:
**HIGHWAY 75 FRONTAGE
DEMOLITION, GRADING, AND
UTILITY PLAN**

PROJECT #: 17-008
DRAWN BY: CT
CHECKED BY: SMF



DRAWING NO:
C1

GALENA ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Hatley, Idaho 83333
(208) 788-1705
(208) 788-4612 fax
email galena@galena-engineering.com



KEY NOTES

- EXISTING HOTEL BUILDINGS, NO WORK
- WORK LIMITED TO COFFEE SHOP

Construction Site Plan Key

- Portable Toilet
- Dumpster
- Construction Parking
- Temporary storage/staging
- Long Term Storage/Lay down Area

CONSTRUCTION MANAGEMENT PLAN
SCALE: 1/16"= 1'-0"

ROW CONSTRUCTION:
Any construction activities in the ROW will be coordinated with the City of Ketchum, ITD, or associated authority having jurisdiction for necessary permits. Certified flaggers, signage and barricades will be utilized for public safety.

PROJECT:
**HOTEL KETCHUM
COFFEE SHOP**

620 N. Main St.
Ketchum, Idaho

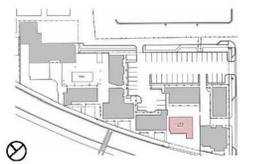
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NO	DATE	ISSUE

DRAWING TITLE:
CONSTRUCTION MANAGEMENT PLAN

PROJECT #:
DRAWN BY:
CHECKED BY:
KEY PLAN:



DRAWING NO:

CM100

Attachment G. Materials Board, dated: 06/20/2017



white washed plywood wall & ceiling panels



weathered zinc metal appointments,
interior details, light fixtures



porcelain floor tiles, weathered gray



black aluminum clad wood doors and windows



equator red painted steel
window/door surround & wall panels



hard troweled light gray exterior plaster wall



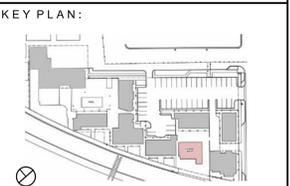
blackened steel window surround,
planters & detailing

DATE	ISSUE
06-20-2017	Pre- Application Design Review

REVISIONS:		
NO	DATE	ISSUE

DRAWING TITLE:
MATERIAL BOARD

PROJECT #: 17-008
 DRAWN BY: AA
 CHECKED BY: JR/MDR



Attachment H. Proposed Exterior Lighting

EL CAPITAN SERIES™



MATERIAL*



FOR USE WITH



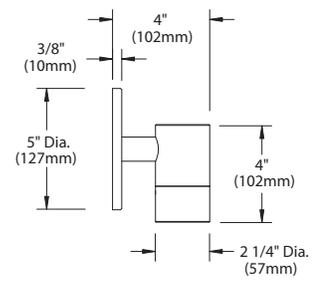
"For the Palm Springs Aerial Tramway we wanted to make sure we could provide a fixture that could provide the perfect ambient light and have a unique style, as always of course B-K Lighting had the perfect fixture...El Capitan Series™"

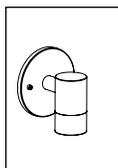
Fernando Rodriquez, MRC Engineering Inc., BKU Spring 2013

B-K LIGHTING | ARCHITECTURAL SURFACE



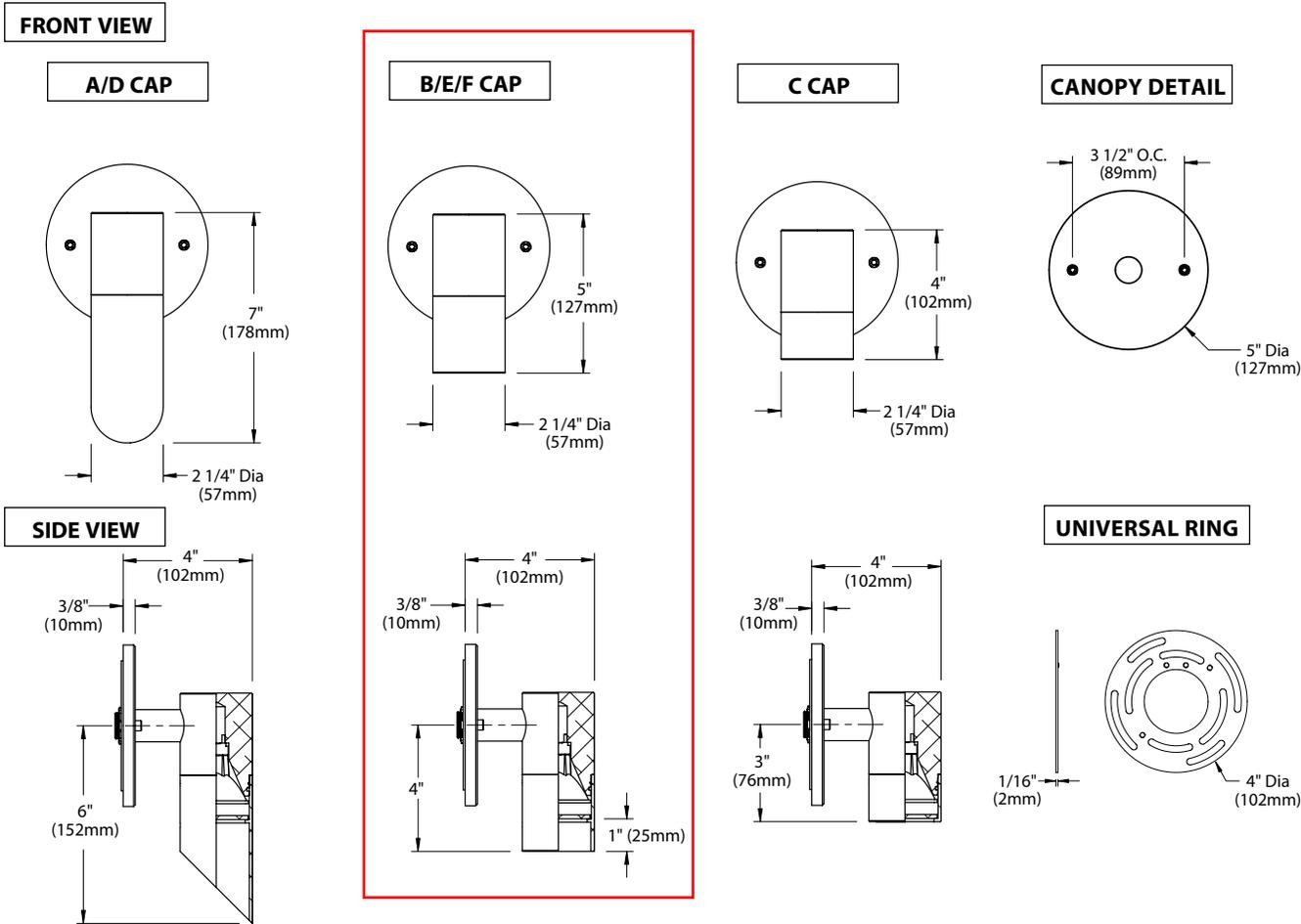
Shown with 'C' cap
in Brown Patina Powder (BPP) finish





MR-16 Halogen

PROJECT:	
TYPE:	



All dimensions indicated on this submittal are nominal. Contact Technical Sales if you require more stringent specifications.

SPECIFICATIONS

GreenSource Initiative™

Metal and packaging components are made from recycled materials. Manufactured using renewable solar energy, produced on site. Returnable to manufacturer at end of life to ensure cradle-to-cradle handling. Packaging contains no chlorofluorocarbons (CFC's). Use of this product may qualify for GreenSource efficacy and recycling rebate(s). Consult www.bklighting.com/greensource for program requirements.

Materials

Furnished in Copper-Free Aluminum (Type 6061-T6), Brass (Type 360).

Body

Fully machined from solid billet. Unibody design provides enclosed, water-proof wireway and integral heat sink for maximum component life. High temperature, silicone 'O' Ring provides water-tight seal.

Cap

Fully machined. Accommodates [1] lens or louver media. Choose from 45° cutoff ('A' or 'D'), 1" deep bezel with 90° cutoff ('B' or 'E'), flush lens ('C') cap styles, or 1" deep cutoff with flush mounted lens ('F'). 'A' and 'B' caps include weephole for water and debris drainage. 'D' and 'E' caps exclude weep-hole and are for interior use only.

Lens

Shock resistant, tempered, glass lens is factory adhered to fixture cap and provides hermetically sealed optical compartment.

Lamp

For use with 50 watt maximum, MR-16 lamp.* Not for use with IR technology lamps.

*Except GE Light Q42MR16/C/VNSP9 (EZY).

Socket

Specification grade, ceramic body lamp holder. GU5.3 base. Nickel allow contacts and heat resistant, spring loaded, stainless steel lamp retaining clips.

Transformer

For use with 12 VAC remote transformer.

Installation

5" dia., machined canopy with stainless steel universal mounting ring permits mounting to 4" octagonal junction box (by others). Suitable for uplight or downlight installation.

Wiring

Teflon® coated wire, 18AWG, 600V, 250° C rated and certified to UL 1659 standard.

Hardware

Tamper-resistant, stainless steel hardware. Canopy mounting screws are additionally black oxide treated for additional corrosion resistance.

Finish

StarGuard®, our exclusive RoHS compliant, 15 stage chromate-free process cleans and conversion coats aluminum components prior to application of Class 'A' TGIC polyester powder coating. Brass components are available in powder coat or handcrafted metal finish.

Warranty

5 year limited warranty.

Certification and Listing

UL Listed. Certified to CAN/CSA/ANSI Standards. Suitable for indoor or outdoor use. Suitable for use in wet locations. RoHS compliant. Made in USA.



*Teflon is a registered trademark of DuPont Corporation.

MR16 LED RETROFIT LAMP



By SORAA™

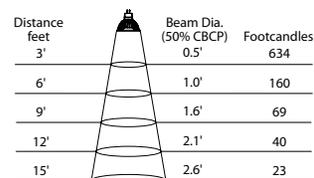
PROJECT:	
TYPE:	
CATALOG NUMBER:	
LAMP(S):	
NOTES:	

B-K Lamp # 359

Base: GU5.3 Bi-Pin
Input Voltage: 12V
CCT: 2700K
Beam: 10° Spot

Mfg. #: MR16-
SM16-07-10D-927-03
Wattage: 7.5W
Lamp Efficacy: 51 (Lm/W)
Rated Life: 35,000 hrs

CBCP (cd): 5710
CRI: >95
Power Factor: 0.92
Dimmable: Yes
Lumens: 390

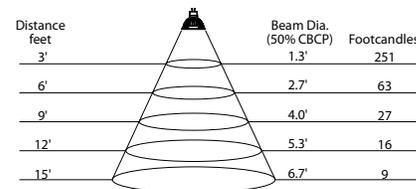


B-K Lamp # 361

Base: GU5.3 Bi-Pin
Input Voltage: 12V
CCT: 2700K
Beam: 25° Narrow Flood

Mfg. #: MR16-
SM16-07-25D-927-03
Wattage: 7.5W
Lamp Efficacy: 53 (Lm/W)
Rated Life: 35,000 hrs

CBCP (cd): 2260
CRI: >95
Power Factor: 0.92
Dimmable: Yes
Lumens: 410

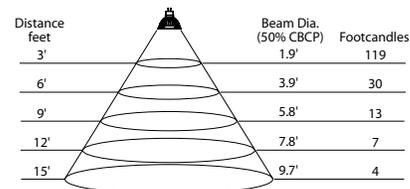


B-K Lamp # 362

Base: GU5.3 Bi-Pin
Input Voltage: 12V
CCT: 2700K
Beam: 36° Flood

Mfg. #: MR16-
SM16-07-36D-927-03
Wattage: 7.5W
Lamp Efficacy: 53 (Lm/W)
Rated Life: 35,000 hrs

CBCP (cd): 1040
CRI: >95
Power Factor: 0.92
Dimmable: Yes
Lumens: 410

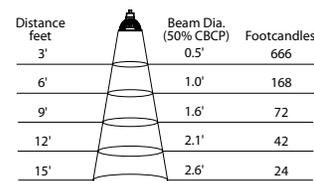


B-K Lamp # 363

Base: GU5.3 Bi-Pin
Input Voltage: 12V
CCT: 3000K
Beam: 10° Spot

Mfg. #: MR16-
SM16-07-10D-930-03
Wattage: 7.5W
Lamp Efficacy: 55 (Lm/W)
Rated Life: 35,000 hrs

CBCP (cd): 6000
CRI: >95
Power Factor: 0.92
Dimmable: Yes
Lumens: 410

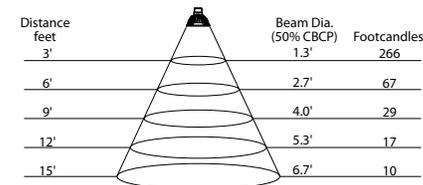


B-K Lamp # 365

Base: GU5.3 Bi-Pin
Input Voltage: 12V
CCT: 3000K
Beam: 25° Narrow Flood

Mfg. #: MR16-
SM16-07-25D-930-03
Wattage: 7.5W
Lamp Efficacy: 58 (Lm/W)
Rated Life: 35,000 hrs

CBCP (cd): 2400
CRI: >95
Power Factor: 0.92
Dimmable: Yes
Lumens: 435

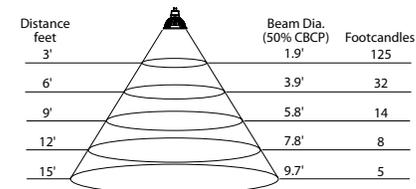


B-K Lamp # 366

Base: GU5.3 Bi-Pin
Input Voltage: 12V
CCT: 3000K
Beam: 36° Flood

Mfg. #: MR16-
SM16-07-36D-930-03
Wattage: 7.5W
Lamp Efficacy: 58 (Lm/W)
Rated Life: 35,000 hrs

CBCP (cd): 1130
CRI: >95
Power Factor: 0.92
Dimmable: Yes
Lumens: 435



B-K LIGHTING

40429 Brickyard Drive • Madera, CA 93636 • USA
559.438.5800 • FAX 559.438.5900
www.bklighting.com • info@bklighting.com

SUBMITTAL DATE
05-20-16

DRAWING NUMBER
SUB-2099-00



By SORAA™

PROJECT:	
TYPE:	
CATALOG NUMBER:	
LAMP(S):	
NOTES:	

<p>B-K Lamp # 378 Base: GU5.3 Bi-Pin Input Voltage: 12V CCT: 4000K Beam: 10° Spot</p>	<p>Mfg. #: MR16- SM16-07-10D-940-03 Wattage: 7.5W Lamp Efficacy: 57 (Lm/W) Rated Life: 35,000 hrs</p>	<p>CBCP (cd): 6290 CRI: >95 Power Factor: 0.92 Dimmable: Yes Lumens: 430</p>	<table border="1"> <thead> <tr> <th>Distance feet</th> <th>Beam Dia. (50% CBCP)</th> <th>Footcandles</th> </tr> </thead> <tbody> <tr><td>3'</td><td>0.5'</td><td>698</td></tr> <tr><td>6'</td><td>1.0'</td><td>176</td></tr> <tr><td>9'</td><td>1.6'</td><td>75</td></tr> <tr><td>12'</td><td>2.1'</td><td>44</td></tr> <tr><td>15'</td><td>2.6'</td><td>25</td></tr> </tbody> </table>	Distance feet	Beam Dia. (50% CBCP)	Footcandles	3'	0.5'	698	6'	1.0'	176	9'	1.6'	75	12'	2.1'	44	15'	2.6'	25
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<p>B-K Lamp # 379 Base: GU5.3 Bi-Pin Input Voltage: 12V CCT: 4000K Beam: 25° Narrow Flood</p>	<p>Mfg. #: MR16- SM16-07-25D-940-03 Wattage: 7.5W Lamp Efficacy: 61 (Lm/W) Rated Life: 35,000 hrs</p>	<p>CBCP (cd): 2510 CRI: >95 Power Factor: 0.92 Dimmable: Yes Lumens: 455</p>	<table border="1"> <thead> <tr> <th>Distance feet</th> <th>Beam Dia. (50% CBCP)</th> <th>Footcandles</th> </tr> </thead> <tbody> <tr><td>3'</td><td>1.3'</td><td>279</td></tr> <tr><td>6'</td><td>2.7'</td><td>70</td></tr> <tr><td>9'</td><td>4.0'</td><td>30</td></tr> <tr><td>12'</td><td>5.3'</td><td>18</td></tr> <tr><td>15'</td><td>6.7'</td><td>10</td></tr> </tbody> </table>	Distance feet	Beam Dia. (50% CBCP)	Footcandles	3'	1.3'	279	6'	2.7'	70	9'	4.0'	30	12'	5.3'	18	15'	6.7'	10
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<p>B-K Lamp # 380 Base: GU5.3 Bi-Pin Input Voltage: 12V CCT: 4000K Beam: 36° Flood</p>	<p>Mfg. #: MR16- SM16-07-36D-940-03 Wattage: 7.5W Lamp Efficacy: 53 (Lm/W) Rated Life: 35,000 hrs</p>	<p>CBCP (cd): 1190 CRI: >95 Power Factor: 0.92 Dimmable: Yes Lumens: 455</p>	<table border="1"> <thead> <tr> <th>Distance feet</th> <th>Beam Dia. (50% CBCP)</th> <th>Footcandles</th> </tr> </thead> <tbody> <tr><td>3'</td><td>1.9'</td><td>132</td></tr> <tr><td>6'</td><td>3.9'</td><td>33</td></tr> <tr><td>9'</td><td>5.8'</td><td>14</td></tr> <tr><td>12'</td><td>7.8'</td><td>8</td></tr> <tr><td>15'</td><td>9.7'</td><td>5</td></tr> </tbody> </table>	Distance feet	Beam Dia. (50% CBCP)	Footcandles	3'	1.9'	132	6'	3.9'	33	9'	5.8'	14	12'	7.8'	8	15'	9.7'	5
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<p>B-K Lamp # 381 Base: GU5.3 Bi-Pin Input Voltage: 12V CCT: 5000K Beam: 10° Spot</p>	<p>Mfg. #: MR16- SM16-07-10D-950-03 Wattage: 7.5W Lamp Efficacy: 57 (Lm/W) Rated Life: 35,000 hrs</p>	<p>CBCP (cd): 6290 CRI: >95 Power Factor: 0.92 Dimmable: Yes Lumens: 430</p>	<table border="1"> <thead> <tr> <th>Distance feet</th> <th>Beam Dia. (50% CBCP)</th> <th>Footcandles</th> </tr> </thead> <tbody> <tr><td>3'</td><td>0.5'</td><td>698</td></tr> <tr><td>6'</td><td>1.0'</td><td>176</td></tr> <tr><td>9'</td><td>1.6'</td><td>75</td></tr> <tr><td>12'</td><td>2.1'</td><td>44</td></tr> <tr><td>15'</td><td>2.6'</td><td>25</td></tr> </tbody> </table>	Distance feet	Beam Dia. (50% CBCP)	Footcandles	3'	0.5'	698	6'	1.0'	176	9'	1.6'	75	12'	2.1'	44	15'	2.6'	25
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<p>B-K Lamp # 382 Base: GU5.3 Bi-Pin Input Voltage: 12V CCT: 5000K Beam: 25° Narrow Flood</p>	<p>Mfg. #: MR16- SM16-07-25D-950-03 Wattage: 7.5W Lamp Efficacy: 61 (Lm/W) Rated Life: 35,000 hrs</p>	<p>CBCP (cd): 2510 CRI: >95 Power Factor: 0.92 Dimmable: Yes Lumens: 455</p>	<table border="1"> <thead> <tr> <th>Distance feet</th> <th>Beam Dia. (50% CBCP)</th> <th>Footcandles</th> </tr> </thead> <tbody> <tr><td>3'</td><td>1.1'</td><td>279</td></tr> <tr><td>6'</td><td>2.1'</td><td>70</td></tr> <tr><td>9'</td><td>3.2'</td><td>30</td></tr> <tr><td>12'</td><td>4.2'</td><td>18</td></tr> <tr><td>15'</td><td>5.3'</td><td>10</td></tr> </tbody> </table>	Distance feet	Beam Dia. (50% CBCP)	Footcandles	3'	1.1'	279	6'	2.1'	70	9'	3.2'	30	12'	4.2'	18	15'	5.3'	10
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15'	5.3'	10																			
<p>B-K Lamp # 383 Base: GU5.3 Bi-Pin Input Voltage: 12V CCT: 5000K Beam: 36° Flood</p>	<p>Mfg. #: MR16- SM16-07-36D-950-03 Wattage: 7.5W Lamp Efficacy: 61 (Lm/W) Rated Life: 35,000 hrs</p>	<p>CBCP (cd): 1190 CRI: >95 Power Factor: 0.92 Dimmable: Yes Lumens: 455</p>	<table border="1"> <thead> <tr> <th>Distance feet</th> <th>Beam Dia. (50% CBCP)</th> <th>Footcandles</th> </tr> </thead> <tbody> <tr><td>3'</td><td>1.9'</td><td>132</td></tr> <tr><td>6'</td><td>3.9'</td><td>33</td></tr> <tr><td>9'</td><td>5.8'</td><td>14</td></tr> <tr><td>12'</td><td>7.8'</td><td>8</td></tr> <tr><td>15'</td><td>9.7'</td><td>5</td></tr> </tbody> </table>	Distance feet	Beam Dia. (50% CBCP)	Footcandles	3'	1.9'	132	6'	3.9'	33	9'	5.8'	14	12'	7.8'	8	15'	9.7'	5
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CH CHART STAR™



MATERIAL



FOR USE WITH



Power Supplies



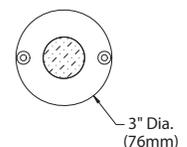
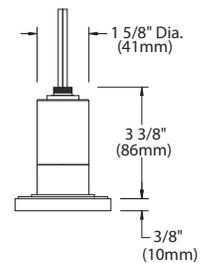
Options

“Our clients have faced recent challenges of providing more with less. With B-K Lighting fixtures we know we can meet our clients’ goals of high quality, high performance and longevity while accomplishing the many tasks required for safe, welcoming and effective lighting solutions. B-K’s quiet, timeless designs blend seamlessly within historic districts as well as new higher education and corporate campus settings.”

Joan MacLeod, Damon Farber Associates, BKU Fall 2013



Shown in Satin Aluminum (SAP) finish





BKSSL
SOLID STATE LIGHTING

the power of
dimming



42 CHART STAR™

PROJECT:	
TYPE:	
CATALOG NUMBER:	
SOURCE:	
NOTES:	

CATALOG NUMBER LOGIC



Example: S - CH - LED - e68 - SP - MAC - 13 - 11

Material

- Blank - Aluminum
- B - Brass
- S - Stainless Steel

Series

- CH - Chart Star™

Source

- LED - 'e' Technology with Integral Dimming Driver (See Specifications for Dimming)
Designed for use with remote 12VAC BKSSL® transformers. Requires magnetic Low Voltage dimmer

LED Type

- e67 - 7WLED/2.7K e69 - 7WLED/4K
- e68 - 7WLED/3K e75 - 7WLED/Amber

Optics*

- SP - Spot (Green Indicator)
- NFL - Narrow Flood (Yellow Indicator)
- FL - Flood (Blue Indicator)

Finish

Aluminum Finish

Powder Coat Color	Satin	Wrinkle
Bronze	BZP	BZW
Black	BLP	BLW
White (Gloss)	WHP	WHW
Aluminum	SAP	—
Verde	—	VER

Brass Finish

Machined	MAC
Polished	POL
Mitique™	MIT

Stainless Finish

Machined	MAC
Polished	POL
Brushed	BRU <small>Interior use only.</small>

Premium Finish

ABP Antique Brass Powder	CMG Cascade Mountain Granite	RMG Rocky Mountain Granite
AMG Aleutian Mountain Granite	CRI Cracked Ice	SDS Sonoran Desert Sandstone
AQW Antique White	CRM Cream	SMG Sierra Mountain Granite
BCM Black Chrome	HUG Hunter Green	TXF Textured Forest
BGE Beige	MDS Mojave Desert Sandstone	WCP Weathered Copper
BPP Brown Patina Powder	NBP Natural Brass Powder	WIR Weathered Iron
CAP Clear Anodized Powder	OCP Old Copper	<i>Also available in RAL Finishes See submittal SUB-1439-00</i>

Lens Type

- 12 - Soft Focus Lens
- 13 - Rectilinear Lens

Shielding

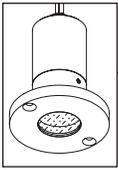
- 11 - Honeycomb Baffle

B-K LIGHTING

40429 Brickyard Drive • Madera, CA 93636 • USA
559.438.5800 • FAX 559.438.5900
www.bklighting.com • info@bklighting.com

RELEASED
05-17-17

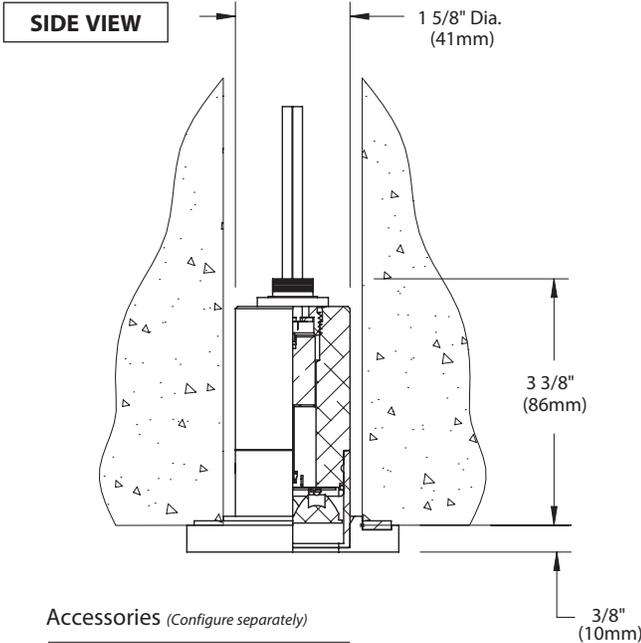
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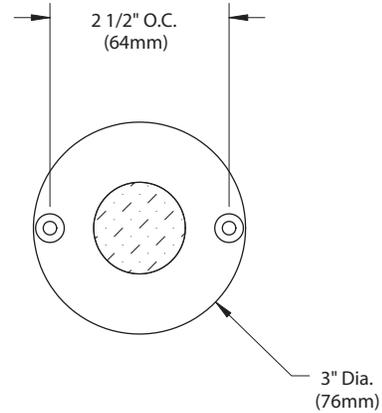
the power of
dimming



PROJECT:	
TYPE:	



FACEPLATE DETAIL



Accessories (Configure separately)

Remote options:



TR Series



UPMRM™

All dimensions indicated on this submittal are nominal. Contact Technical Sales if you require more stringent specifications.

SPECIFICATIONS

GreenSource Initiative™

Metal and packaging components are made from recycled materials. Manufactured using renewable solar energy, produced on site. Returnable to manufacturer at end of life to ensure cradle-to-cradle handling. Packaging contains no chlorofluorocarbons (CFC's). Use of this product may qualify for GreenSource efficacy and recycling rebate(s). Consult www.bklighting.com/greensource for program requirements.

Materials

Furnished in Copper-Free Aluminum (Type 6061-T6), Brass (Type 360) or Stainless Steel (Type 304).

Core Drill

Allows for mounting into existing structures that will not easily accept a standard box. 2" dia. hole required for slip fit.

Body

Fully machined from solid billet. Unibody design provides enclosed, water-proof wireway and integral heat sink for maximum component life. High temperature, silicone 'O' Ring provides water-tight seal. Provided with hard-coat (Type III) black anodize finish for maximum corrosion resistance. Weather-tight cable connector with 5'0," 18Ga., 2 wire low voltage cable.

Faceplate

Fully machined from solid billet. Countersunk holes provide for flush hardware mounting (by others). 1/8" thick HT-805A silicone foam gasket with acrylic adhesive for water-tight seal. Accommodates [1] lens or louver media.

Lens

Shock resistant, tempered, glass lens is factory adhered to faceplate and provides hermetically sealed optical compartment. Specify soft focus (#12) or rectilinear (#13) lens.

BKSSL®

Integrated solid state system with 'e' technology is scalable for field upgrade. Modular design with electrical quick disconnects permit field maintenance. High power, forward throw source complies with ANSI C78.377 binning requirements. Exceeds ENERGY STAR® lumen maintenance requirements. LM-80 certified components.

Integral, constant current driver. 12VAC/VDC input. 50/60Hz. Proprietary input control scheme achieves power factor correction and eliminates inrush current. Output, over-voltage, open-circuit, and short circuit protected. Inrush current limited to <1A (non-dimming). Conforms to Safety Std. C22.2 No. 250.13-12.

Dimming

Line voltage dimmable via magnetic low voltage dimmer. For use with low voltage dimmer with dedicated neutral conductor. For purposes of dimming: Remote magnetic transformer with BKSSL® Power of 'e' technology loads should be loaded to 25% of the transformer VA (watts) rated value.

Optics

Interchangeable OPTIKIT™ modules permit field changes to optical distribution. Color-coded for easy reference: Spot (SP) = Green. Narrow Flood (NFL) = Yellow. Flood (MFL) = Blue.

Remote Transformer

For use with 12VAC BKSSL remote transformer or magnetic transformers only. B-K Lighting cannot guarantee performance with third party manufacturers' transformers.

Wiring

Teflon® coated, 18AWG, 600V, 250° C rated and certified to UL 1659 standard. Anti-Siphon Valve (ASV™) prevents "wicking" through conductor insulation.

Hardware

Tamper-resistant, stainless steel hardware. Mounting hardware by others.

Finish

StarGuard®, our exclusive RoHS compliant, 15 stage chromate-free process cleans and conversion coats aluminum components prior to application of Class 'A' TGIC polyester powder coating. Brass components are available in powder coat or handcrafted metal finish. Stainless steel components are available in handcrafted metal finish. (Brushed finish for interior use only).

Warranty

5 year limited warranty.

Certification and Listing

ITL tested to IESNA LM-79. UL Listed. Certified to CAN/CSA/ANSI Standards. RoHS compliant. Suitable for indoor or outdoor use. Suitable for installation in combustible materials (Type Non-IC). Suitable for use in wet locations. Suitable for installation within 4' of the ground. IP65 Rated. Made in USA.



*Teflon is a registered trademark of DuPont Corporation.
*Energy Star is a registered trademark of the United States Environmental Protection Agency.

DRIVER DATA	Input Volts	InRush Current	Operating	Dimmable	Operation Ambient Temperature
	12VAC/DC 50/60Hz	<250mA (non-dimmed)	500mA	Magnetic Low Voltage Dimmer	-22°F-194°F (-30°C - 90°C)

LM79 DATA

BK No.	CCT (Typ.)	CRI (Typ.)	Input Watts (Typ.)
e67	2700K	80	7
	2700K	80	7
	2700K	80	7
e68	3000K	80	7
	3000K	80	7
	3000K	80	7
e69	4000K	80	7
	4000K	80	7
	4000K	80	7
e75	Amber (590nm)	~	7

L70 DATA

Minimum Rated Life (hrs.) 70% of initial lumens (L70)
50,000
50,000
50,000
50,000
50,000
50,000
50,000
50,000
50,000
50,000

OPTICAL DATA

Angle	CBCP	Delivered Lumens
17°	3632	459
25°	1708	435
30°	1337	438
17°	3871	489
25°	1821	464
30°	1425	467
17°	3991	504
25°	1877	478
30°	1469	481
~	~	~

OPTICS

Optic	Angle
NSP - Narrow Spot	17°
SP - Spot	25°
FL - Flood	30°



Planning and Zoning

Special Meeting

~ Minutes ~

Tuesday, May 23, 2017

5:30 PM

Ketchum City Hall

Commissioners Present: Erin Smith, Vice-Chairperson
Matthew Mead, Commissioner
Neil Morrow, Commissioner

Commissioners Absent: Jeff Lamoureux, Chairperson
Betsey Mizell, Commissioner

Staff Present: Carl Anderson, Associate Planner
Keshia Owens, Planning Technician
Micah Austin, Director of Planning & Building
Brittany Skelton, Senior Planner

Also Present: Members of the Public

1. **5:15 PM - SITE VISIT: Sun Valley Dental Arts 100 7th Street Ketchum, Idaho (Ketchum Townsite, Lot 5, Block 34)**

2. **5:30 PM - CALL TO ORDER: City Hall, 480 East Avenue North, Ketchum, Idaho**

Commissioner Smith called the meeting to order at 5:39 PM.

3. **PUBLIC COMMENT - Communications from the public for items not on the agenda.**

No comments.

4. **STAFF REPORTS & CITY COUNCIL MEETING UPDATE**

Staff provided updates on the Emergency Floodplain applications, Argyros Performing Arts Center, and the Dark Sky Text Amendment.

5. **COMMUNICATIONS FROM STAFF**

- a. **100 7th Street East Ketchum, Idaho (Ketchum Townsite, Lot 5, Block 34). The Commission will consider and take action on an application by Ben Franz for Design Review approval of a new mixed use three-story building with ground floor commercial space with two residential units on the second floor and one residential unit on the third floor.**

COMMENTS:

Micah Austin, Planning Director, introduced the project and said that the City is holding this meeting at the request of the applicant and explained that staff is not recommending approval of the application because it does not meet several standards. He also asked that the Commission be very clear in their analysis and decision to provide clear direction.

Ben Franz, Sun Valley Dental Arts, said that he has been working on this project for several years and plans have changed since the Commission first saw the project. He explained that initially patients would fly in for a few weeks, get a new smile, vacation and leave, but this would be a bed and breakfast and not compliant with Ketchum's Code. He commented that the project has gone through several changes, which will be presented to the Commission.

Jeff Matthis, Architect, said that the proposed building will have a contemporary and modern look. He explained the layout of the first floor, the basement, and noted that with underground parking spaces and lifts they can get the required nine onsite spaces. He stated that the second floor is designed to have two condominium units and the third floor will be a single unit. He then commented on the reasons for denial including the FAR, parking, handicapped parking, snow storage, and the construction management plan.

Ben Worst, attorney, said that they are trying to avoid the situation that has been created behind the post office where there's ADA parking on the snowy side of the building. He explained that you are allowed to deviate from the local ordinances on ADA parking if you follow a specific state statute. He added that he disagrees with Austin's analysis regarding what "onsite" means because the ADA has their own definition. He noted that this is huge in this case because there are virtually no compliant ADA spaces in the City of Ketchum.

Sam Stahlnecker, Benchmark Associates, spoke about the design of the project and that the square footage of snow storage is minimal and plans are showing 30% more than what's required by Code. She also commented on ADA parking and said that she would point to the section of ADA code that requires the space be as close as possible to the entrance of the building.

Carl Anderson, Associate Planner, said that the applicant is here to request design review approval for a new, three-story mixed-use building. He explained that pre-application design review was conducted on October 26, 2016. He stated that staff finds that the project complies with the Comprehensive Plan, but has not satisfied all requirements of Title 17, Zoning Regulations, and recommends denials based on the following:

- The applicant does not have an exceedance agreement with the City of Ketchum to satisfy City Code Title 17, section 17.124.040.
- Off street parking and loading calculations have not been satisfied.
- Snow storage (requirement satisfied).
- Construction management plan has not been received.

Commissioner Morrow made a motion to continue the project until June 12, 2017.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Neil Morrow, Commissioner
SECONDER:	Matthew Mead, Commissioner
AYES:	Morrow, Mead, Smith
ABSENT:	Mizell, Lamoureux

5. CONSENT CALENDAR

a. Minutes: April 10, 2017 and May 8, 2017

COMMENTS:

Commissioner Morrow made a motion to approve the minutes from April 10, 2017 and May 8, 2017.

- b. **Sunnyside Condos Design Review: 420 and 460 North Spruce Avenue, Ketchum, Idaho (Sunnyside 8 Condos Bldg. 1 & 2):**

COMMENTS:

Commissioner Mead made a motion to approve the Sunnyside Condos Design Review Findings of Fact.

6. FUTURE PROJECTS AND NOTICING REQUIREMENTS

- No projects are up for noticing.
- Bracken Station CUP Appeal is scheduled for June 8, 2017 at 2:00 PM.

8. Commission reports and ex parte discussion disclosure

9. ADJOURNMENT

Commissioner Morrow motioned to adjourn, Commissioner Mead seconded.

Erin Smith
Planning and Zoning Commission Co-Chair



Planning and Zoning

Special Meeting

~ Minutes ~

480 East Avenue North
Ketchum, ID 83340
<http://ketchumidaho.org/>

Keshia Owens
208-726-7801

Thursday, June 8, 2017

2:00 PM

Ketchum City Hall

Commissioners Present: Erin Smith, Vice-Chairperson
Matthew Mead, Commissioner
Jeff Lamoureux, Chairperson

Commissioners Absent: Betsey Mizell, Commissioner
Neil Morrow, Commissioner

Staff Present: Carl Anderson, Associate Planner
Micah Austin, Director of Planning & Building
Brittany Skelton, Senior Planner
Keshia Owens, Planning Technician

Also Present: Members of the Public

1. 2:00 PM - CALL TO ORDER: City Hall, 480 East Avenue North, Ketchum, Idaho

Commissioner Lamoureux called the meeting to order at 2:02 PM.

2. PUBLIC COMMENT - Communications from the public for items not on the agenda.

Commissioner Lamoureux stated that this is an appeal hearing and not a public hearing, therefore no public comment is allowed.

3. COMMUNICATIONS FROM STAFF

- a. **Bracken Station: 911 North Main Street, Ketchum, Idaho (AM Lot 5A, Block 30, Ketchum Townsite. Appeal by RRJ LLC / Penguin LLC of an administrative decision: 911 N. Main Street (Ketchum AM Lot 5A Block 30) The purpose of the special meeting is to allow the Planning and Zoning Commission to hear an appeal from applicant RRJ LLC / Penguin LLC regarding a decision made by the Administrator in accordance with Section 17.116.070 of the Ketchum Municipal Code to deny the applicant's request.**

COMMENTS:

Commissioner Lamoureux gave background on the project and said the original application was denied on February 13, 2017. He then explained the appeal process and said that the Commission has received several exhibits, site plans, and a notice of appeal.

Neither the applicant nor staff had any objections to the submitted exhibits.

Applicants' Comments:

Steve Cook, architect, said the applicant is here to address the decision for denial. He commented that he is happy for the "checks and balances" system that is available to the applicant and explained that

the applicant is seeking correction to the application. He then noted key points that have changed like the bulb-out entrance, complete demolition of the 'L' shaped structure, a smaller retail space, site circulation, form change, and pedestrian circulation. He spoke about staff's reasons for denial and asked that the Commission overturn their previous decision. He explained that this is an allowed use and said administration has made a miscall.

Ned Williamson, applicant's attorney, said there has been some misconception on the ability to resubmit the application, as well as misconception that this was denied because it does not meet standards. He explained that these misconceptions are not correct because code standards state that you can resubmit an application for a conditional use permit that was denied if it is not in the same or substantially the same form. He explained that "substantially the same" deals with the configuration of the use and its form. He commented that he'd like to focus on the proposed form, a thirty percent increase in site circulation, and the site plan. He noted previous concerns and explained that the resubmittal has addressed those concerns. He asked that the Commission reverse the decision of the administrator and consider what is important. He later said that he was a little surprised by Austin's comments and commented that staff is looking to justify the decision any way possible, but the applicants have addressed the Commission's concerns.

Staff comments

Micah Austin, Director, said that the conditional use permit (CUP) was denied on February 13, 2017. He explained that no re-application for a CUP shall be allowed if there have been no substantial changes. He commented that design review was not dealt with heavily because the commission was more interested in traffic, health, and safety. He explained the findings for denial and stated that resubmitted application was returned to the applicant because there had been no substantial changes. He detailed the proposed use and explained that the project is the same in terms of circulation, traffic issues, and fuel tank locations.

Matthew Johnson, City Attorney, said that what it really boils down to is whether the application is the same or substantially the same. He commented that he cannot give a clear definition on the meaning of substantially the same or the same, so the Commission's interpretation is important. He explained that Idaho Law does not deal with substantially the same, but we are dealing with something called the successive application doctrine, but no bright-lined rule is clarified. He then noted that if resubmittal of the application were to be denied, the applicant can appeal to city council and to the courts.

The Commission took an advisory vote

Commissioner Mead agreed with staff's analysis and saw no substantial change, as initial issues were not addressed.

Commissioner Smith agreed with the applicant that there were significant changes.

Commissioner Lamoureux agreed with the applicant that there has been a substantial change.

Commissioner Smith moved to ask is the April 10, 2017 conditional use permit application submitted by appellant in the same or substantially the same form as appellant conditional use permit previously submitted on February 13, 2017?

Commissioner Mead voted yes, the application is the same or substantially the same form as the conditional use permit previously submitted and denied on February 13, 2017.

Commissioner Lamoureux voted no, the application is not the same or substantially the same.

Commissioner Smith voted no, the Commission should air on the side of the caution.

RESULT:	ADOPTED
MOVER:	Erin Smith, Co-Chair
AYES:	Jeff Lamoureux, Erin Smith
NAYES:	Matthew Mead
ABSENT:	Neil Morrow, Betsy Mizell

4. CONSENT CALENDAR

a. Minutes: May 23, 2017

Commissioner Smith requested that changes be sent to staff.

5. FUTURE PROJECTS AND NOTICING REQUIREMENTS

- Franz Dental continuation
- Pre-App Design Review Fire Training Center
- Light Industrial Gas Station & Electric Vehicle Charging Stations Text Amendment

6. STAFF REPORTS & CITY COUNCIL MEETING UPDATE

7. Commission reports and ex parte discussion disclosure

8. ADJOURNMENT

Commissioner Smith motioned adjourn and Commissioner Mead seconded.

Jeff Lamoureux
Planning and Zoning Commission Chair



Planning and Zoning

Regular Meeting

~ Minutes ~

Monday, June 12, 2017

5:30 PM

Ketchum City Hall

Commissioners Present: Erin Smith, Vice-Chairperson
Matthew Mead, Commissioner
Jeff Lamoureux, Chairperson
Betsey Mizell, Commissioner

Staff Present: Carl Anderson, Associate Planner
Micah Austin, Director of Planning & Building
Brittany Skelton, Senior Planner

Staff Absent: Keshia Owens, Planning Technician

Also Present: Members of the Public

1. 5:30 PM - CALL TO ORDER: City Hall, 480 East Avenue North, Ketchum, Idaho

Commissioner Lamoureux called the meeting to order at 5:37 PM.

2. 5:15 PM - SITE VISIT: Fire Training Center 219 Lewis Street Ketchum, Idaho (Northgate Sub Lot 7 Block 1)

2. PUBLIC COMMENT - Communications from the public for items not on the agenda.

Gary Lipton, Ketchum resident, attended last week's meeting regarding Bracken Station [911 N. Main Street]. He read code 17.116.070, which states that no application for a conditional use permit that has been denied by the Commission or the Council shall be resubmitted in the same or substantially the same form in less than one year from the date of final action. He commented that the Commission violated the public trust and the democratic process. He then stated that the lawyer in attendance didn't allow the public to discuss the item with the Commission and explained that the Commission deliberated for six months, but was willing to overturn the application in a few hours. He commented that the Commissioners should look at their job titles, instead of catering to the needs of a few.

3. COMMUNICATIONS FROM STAFF

- a. **The Commission will consider and take action on an application by Ben Franz for Design Review approval of a new mixed use three-story building with ground floor commercial space with two residential units on the second floor and one residential unit on the third floor.**

COMMENTS:

Commissioner Mead made a motion to continue Sun Valley Dental Arts to July 10, 2017.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Matthew Mead, Commissioner
SECONDER:	Betsy Mizell, Commissioner
AYES:	Mead, Lamoureux, Smith, Mizell

b. The Commission will consider an application by the City of Ketchum for a newly proposed 1,280-square foot fire training center on a 12,000-square foot lot.

Micah Austin, Director, said that this is an application for a temporary training facility on city-owned property. The applicant in this case, he stated, is the City and the role of the planning staff will remain the same. He explained that this application is for pre-application design review and approval from the Commission is not required, but there is still a recommendation from staff.

Carl Anderson, Associate Planner, said the applicant is requesting pre-application design review for a temporary fire training facility. He provided background on the project and said that this will be a continuation of a public use because it was originally a public use. He outlined several action items that will need to be addressed during design review and said that staff recommended the project's advancement.

Mike Elle, Fire Chief, said that the City Council voted on this as a repurpose of the site and said this is the biggest thing the City has done for the safety of emergency responders. He commented that in thirty-two years of being here, this building has been the Fire Department's training center and no complaints have ever been received. He explained that the list of items included on the notice was very accurate and commented that those items are what is needed to train successfully.

Dave Listner, KSVVA, said that his organization is looking to purchase the training center and gift it to the City. He said that they have been working on this project for more than ten years and had hired a land use consultant to assist in locating a site. He spoke about the proposed color scheme of the training center, grassing, graphics, and building composition.

Keith Potter, Ketchum Fire, addressed lighting and noise. He commented that two weeks ago they tested how much lighting would be emitted from the site and found that the emergency lighting would meet the Dark Sky Ordinance. He explained that training facility is also well within the allowed noise levels and addressed the issue of smoke. He commented that the fire training center will only be used on certain days and at certain times, meaning it is not a Monday through Friday operation.

Directives:

- Landscaping is required
- Suggestions from the City Arborist on landscaping and planters
- Address on-street parking
- Reconsider fence design and materials
- Continuity of design and colors throughout the facility
- ADA striped parking
- Screening for the proposed enclosure
- Permanent lighting and fixtures will need to be shown in lighting plan

c. City-initiated text amendments to Chapter 17.08, Definitions, Section 17.12.020, District Use Matrix, and Chapter 17.124, Development Standards to amend regulations for motor vehicle fueling stations in order to protect the health, safety and welfare of the public and to align regulations for the use with the Comprehensive Plan.

COMMENTS:

Micah Austin, Planning Director, said that the last real discussion on this item was on April 10th and since that time Skelton has done exhaustive research to answer the Commission's questions. He also explained that this may or may not affect a pending application, as the application depends on the timing of the submission and if the application is completed when submitted.

Brittany Skelton, Senior Planner, said that her presentation will focus on the requests of the Commission from previous meetings. She explained that motor vehicle fueling stations are conditionally allowed in the Light Industrial Districts and currently electric vehicle charging stations are not regulated as an independent use anywhere in the zoning code, however, they are mentioned in conjunction with motor vehicle fueling stations as a component of them. She added that staff was directed to look at the Comprehensive Plan thoroughly and broadly as it relates to the proposed text amendment and sustainability was found to be the overarching key component of the Plan. She explained that there were also several components driving the Plan that contained a vision, a goal, challenge, or a policy and directly relate to the proposed text amendment, and the ways in which the proposed text amendments aligned with the Comprehensive Plan. She elaborated on health, safety, and welfare issues, and traffic volumes and explained that the nature of motor vehicle fueling stations with a convenience store component generate high levels of traffic. She then compared traffic generation between daycares, fueling stations, and auto parts stores and explained the differences in traffic generation based on the square footage of a business, again noting that fueling stations generate a far higher volume of vehicle trips. She presented research on the Idaho Transportation Department's standards for vehicular accesses from state highways, development standards for gas stations that peer cities have adopted, and noise and design regulations that currently exist in the municipal code as they pertain to uses permitted in Light Industrial zoning districts. She then explained that with respect to all research and analysis conducted to date, staff continues to recommend the original amendments presented to the Commission on April 10 and approval for both text amendments as proposed.

Proposed amendments:

Amend the District Use Matrix by adding a footnote stating vehicular access from Highway 75 to motor vehicle fueling stations is prohibited

Amend motor vehicle fueling station definition to reference electric vehicle charging stations permitted as a component of motor vehicle fueling stations

Amend the Definitions section to add a definition for electric vehicle charging stations

Amend the District Use Matrix to add Electric Vehicle Charging Stations as an accessory use permitted in all zoning districts

Public comments in favor of the text amendment:

Jo Ellen Collins, Ketchum resident, said that she is not a NIMBY as she chose to live near the highway. She stated that she has never seen as much traffic as the amount generated recently. She explained that she thinks this is the wrong site for the project, as the site is not big enough and there are houses behind where the proposed gas tanks would be located. She also commented that trying to get gas during peak hours would be highly dangerous and she thinks this is becoming more of a heavily traveled area. She explained that she is worried about safety and the general closeness of the gas station to residences.

Reed Lindsay, Ketchum resident, commended staff on their work and brought up the issue of "takings" as it relates to a proposed property for a gas station. He explained that it seems clear that this ordinance should be approved and he is 100% supportive of it. He added that as a journalist, it is concerning that there was a meeting addressing Bracken Station [911 N. Main Street] where no public comment was allowed and now there's a question of what could come first.

Aimee Christensen, Sun Valley resident and Ketchum business owner, said that if we don't get this text amendment, the Planning and Zoning Commission will be approving a project of the past at the expense of the quality of life of this community. She stated that she supports staff's recommendation of the proposed text amendment as it is consistent with the Comprehensive Plan and previous regulations. She then spoke to the electric vehicle fueling station and said that she is concerned about redevelopment of the site if a gas station fails, as the future will likely see an even higher increase in electric vehicles. She then summarized by saying that the view corridor of the city will be disrupted, gas stations may lead to further pollution, gas stations may be a potential terrorism target, and stated that she is very concerned about the potential future redevelopment.

Ruth Lieder, Ketchum resident, stated by saying she is shocked that this issue about a gas station is so late in coming, as Bracken [911 N. Main Street] has worked with the City for some time. She asked about the application procedure and encouraged the Commission to consider this text amendment to be as important as she does, meaning to no gas stations on highway 75.

Jane Batey, Ketchum resident, said that the staff has worked hard on the proposed amendment and encourages the Commission to pass it. This is a unique opportunity, she said, to make a difference in the West, in Idaho, and in the United States, as this community can set itself apart from other mountain communities.

Barbi Reed, Ketchum resident, commented that she thinks it's important to be very clear that this amendment wouldn't be surfacing if Bracken Station [911 N. Main Street] had not come about. She explained that Bracken Station was the genesis that was directed to the Commission by City Council, it was the reason why everyone said we don't want this, it could be a large corporation, and it is the reason why the Commission is hearing this text amendment. She pointed to the Comprehensive Plan and said a site like Bracken Station does not meet standards of the Plan in terms of trip generation and overall community welfare.

Commission comments and concerns:

- Walkability and pedestrian safety have been shown to be negatively impacted by vehicle trips gas stations generates, text amendment for fueling stations mitigates this impact
- Protection of the character of Ketchum's Main Street and gateway views and maintaining Ketchum's long history of planning for walkability are important. Instead of looking at state of the art 2017 underground storage tanks for gas stations, we will be looking at 1965 underground storage tanks because sites may not see any redevelopment due to new, additional regulations and the fact sites elsewhere in the Light Industrial area may be less appealing to develop due to less passer by traffic
- Prohibiting gas stations with highway access could force additional traffic into the rest of the Light Industrial area if new gas stations are developed there instead
- A new Gateway overlay district should be considered as a separate discussion in order to deliberately address viewshed with respect to building heights and setbacks
- Although proposed amendments for fueling stations are not technically spot zoning, it feels that way; if traffic concerns are a problem perhaps traffic concerns could be mitigated by limiting size and type of vehicular access to a site
- Electric Vehicle text amendments speak the most to sustainability goals, but additional regulations for fueling stations facilitate sustainability goals as well since fueling stations interfere with walkability and cycling

Commissioner Mizell moved to recommend approval to City Council for the text amendments 17.080.020- Terms Defined and Section 17.12.020- District Use Matrix as proposed, finding the amendments consistent with the Comprehensive Plan, Zoning Ordinance, and Subdivision Ordinance.

Commissioner Lamoureux asked that the reference to the name “Bracken Station” be stricken from the report and referred to only by the site address because the applicant has changed the name of the proposal. Commissioner Lamoureux also requested that in Table 3 in the report clarification regarding why the Hailey Chevron site was selected be included.

Commissioner Smith requested that going forward, minutes remain succinct, as the public can go into further detail by listening to recordings. Commissioner Lamoureux requested for this meeting, since the text amendments will be considered by Council next, that the minutes should be more detailed and that statements in agreement with staff and Commissioner’s thought processes should be included.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Betsy Mizell, Commissioner
SECONDER:	Matthew Mead, Commissioner
AYES:	Mead, Lamoureux, Smith, Mizell

4. CONSENT CALENDAR

5. FUTURE PROJECTS AND NOTICING REQUIREMENTS

- Staff and the Commission are on track for the July meeting with Franz Dental
- Pre-Application Design Review for Bellemont Coffee House
- Pre-Application Design Review for 2316 Warm Springs Road- tentative

6. STAFF REPORTS & CITY COUNCIL MEETING UPDATE

No items

7. Commission reports and ex parte discussion disclosure

8. ADJOURNMENT

Commissioner Smith motioned to adjourn and Commissioner Mizell seconded.

Jeff Lamoureux
Planning and Zoning Commission Chair